



FORCHELLI
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January 11, 2023

VIA ELECTRONIC SUBMISSION

Town of North Hempstead
Board of Zoning Appeals
210 Plandome Road
Manhasset, NY 11030

Attn: Mr. Steven Perrotta, Planner

RE: Application of 1285 Northern Boulevard LLC
1285 Northern Boulevard, Manhasset, NY 11030

Dear Steve:

In connection with the above premises, attached for filing with the Board of Zoning Appeals are the following documents:

1. Town of North Hempstead Building Department Notice of Disapproval, dated 01/11/2023;
2. Application and Addendum;
3. Decision for Appeal #9778 and Declaration of Covenants and Restrictions, dated 02/05/1954, and recorded in Liber 5477, Page 315 on 02/15/1954;
4. Commercial Zoning Analysis Form;
5. Owner/Applicant Disclosure Affidavit with attached List of Members;
6. Long Environmental Assessment Form;
7. Survey prepared by Gallas Surveying Group, dated 12/23/2021, last revised 09/12/2022;
8. Traffic Impact Study prepared by R&M Engineering, dated 01/2023;
9. Site Development Plans prepared by R&M Engineering, dated 04/29/2022, last revised 10/26/2022:
 - a. Cover Sheet (SP-1)
 - b. Alignment Plan (SP-2)

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- c. Demo & Erosion Control Plan (SP-3)
 - d. Grading & Drainage Plan (SP-4)
 - e. Utility Plan (SP-5)
 - f. Photometric Plan (SP-6)
 - g. Landscape Plan (SP-7)
 - h. Construction Details (SP-8)
 - i. Drainage & Utilities Details (SP-9)
 - j. Sanitary & Water Distribution Details (SP-10)
 - k. Demo & Erosion Control Details (SP-11)
 - l. Existing Conditions (EX-1)
10. Architectural Plans prepared by Gregory Basmajian Architect PLLC, dated 01/06/2023:
- a. Lower-Level Floor Plan (A-101)
 - b. First Floor Plan (A-102)
 - c. Mezzanine Plan (A-103)
 - d. Building Elevations (A-201)
11. 300-Foot Radius Map and List of Names prepared by R&M Engineering, dated 04/29/2022.

Also, attached is a copy of a check made payable to the "Town of North Hempstead" in the amount of \$6,400 for the filing fee. The original check was mailed to your office under separate cover on 01/11/2023.

Thank you for your consideration and courtesies. Please place this matter on the Board's next available agenda, and should you require any additional information or documentation, please do not hesitate to contact me.

Respectfully submitted,

FORCHELLI DEEGAN TERRANA LLP



By: KATHLEEN DEEGAN DICKSON

Attachments



Town of North Hempstead

Department of Building Safety, Inspection & Enforcement
210 Plandome Road, Manhasset, NY 11030-2326
www.northhempsteadny.gov

NOTICE OF DISAPPROVAL

January 11, 2023

Permit No: CBP22-000186
Premises Location: 1285 Northern Blvd Manhasset, NY 11030
S-B-L: 3-53-38
Zone: Business A District (B-A);

Proposed Work: Construct a new one-story building for use as a automobile dealership.
Owner: 1285 Northern Boulevard LLC - **Address:** 1285 Northern Blvd, Manhasset, NY 11030-3019
Applicant: R&M Engineeirng - Donna Puccio **Address:** 50 Elm St, Huntington, NY 11743-3553
Design Professional: Gregory Basmajian Architect PLLC - Gregory Basmajian **Address:** 850 Bryden Lake Rd, Delancey, NY 13752-3132

Dear Applicant

PLEASE BE ADVISED that your application for a permit has been **DISAPPROVED** as contrary to the code of the Town of North Hempstead as follows:

1. 70-103(A)(1) - Parking Requirements - All districts. The following off-street parking requirements shall apply in all districts in which the enumerated uses are authorized, except where otherwise provided in the article regulating such districts.

Proposed: The plans submitted indicate 94 parking spaces are required and 72 parking spaces will be provided - a variance is required for deficiency of 22 parking spaces.

2. 70-103(F) - Provision for off-street loading and unloading shall be made on premises used for a business purpose in a location that will not interfere with accessory parking and means of ingress and egress thereto, and such areas shall be surfaced in the same manner as the parking areas. The area to be allocated for loading and unloading shall be at least 10 feet in width, 25 feet in length and 15 feet in clear height.

Proposed: As per the plans submitted the no provision for off-street loading or unloading has been proposed - a variance is required.

3. 70-103(T) - The off street parking spaces required by this article are to be available at all times for customers, clients, constituents, patrons, visitors, employees, residents, and guests of the primary use of the main building(s) situated on the site. Commercial parking lots must also comply with the definition of "parking space" contained in Section 70-231 of this chapter and the requirements of this article, but no on-site parking spaces required under this article may be used as a portion of a commercial parking lot. Parking spaces for the parking of commercial vehicles or storage of vehicles for other purposes shall not be controlled by the provision of this article other than Section 70-103C and M and shall be considered "storage" in regard to the requirements thereof. Exterior storage of vehicles shall only be allowed where specifically indicated as a permitted or conditional use in the zoning district in which they are to be located and must comply with the requirements of Section 70-212B.

Proposed: The The storage automobiles is not permitted in a B-A zone - a variance is required.

4. 70-132(A) - Front yard: There shall be a front yard, the depth of which shall be not less than 10 feet. Such ten-foot front yard setback shall not be required in the New Cassel Urban Renewal Area. Where a building has vehicular entrance doors facing a street, such entrance doors shall be set back a distance of at least 18 feet from the street line, and an open, unoccupied space shall be maintained between said doors and the street line.

Proposed: The plans submitted propose the storage of automobiles being offered for sale in the required front yard - a variance is required.

5. 70-126(D) - Conditional Use -A building may be erected, altered or used and a lot or premises may be used for any of the purposes set forth in this article when authorized by the Board of Zoning and Appeals pursuant to the provisions of Article XXIV and for no other: Parking space for the parking, storage and sale of automobiles.

Proposed: The plans submitted propose a new auto dealership with exterior storage of automobiles being offered for sale - this is a conditional use.

6. 70-203(G) - Where a parking district, business district or industrial district is within 15 feet of any residence district or where such district is within 15 feet of land owned and maintained by the New York State Office of Parks, Recreation and Historic Preservation as a state park or the New York State Department of Transportation as a parkway, there shall be provided a landscaped area of at least 15 feet in depth adjoining such district or districts or such park or parkway. Such landscaped area shall be located within the same lot or site as the primary building(s) or use(s) in the parking, business, or industrial district and shall be located along the property line(s) abutting the adjacent properties or land containing the residential district, park, or parkway. A buffer is not required to be located through a property so as to bifurcate it. Such landscaping shall consist of trees and shrubs which shall be so located and of sufficient density to effectively screen the parking, business and industrial districts from any adjacent properties in a residence district or from land owned and maintained by the New York State Office of Parks, Recreation and Historic Preservation or the New York State Department of Transportation. Said screening shall be subject to the approval of the Building Official.....

Proposed: The plans submitted do not propose the required landscape buffer along the West and North property lines in the B-A zoning district - a variance is required.

7. 70-212(B) - Dumping and storage: Where accessory outdoor storage is otherwise permitted in any use district, the area shall be specifically designed and screened so that no vehicles, machines or supplies are visible from ground level. No part of the accessory outdoor storage area shall be located closer than 120 feet to the front property line. Said storage area shall not occupy more than 15% of the plot area.

Proposed: Per the plans submitted, the storage is less than 120 feet to the property line - a variance is required.

8. 70-229(A) - Compliance with provisions: Every applicant, owner and their successors must comply with all decisions of the Board of Zoning and Appeals, including the provisions of any variance which has been granted by the Board and any permit or rider attached thereto. It shall be the duty of the Building Official and the Code Enforcement Officer to enforce those decisions.

Proposed: Per B.Z.A. Decision #9778 a Restrictive Covenant is referenced and the plans submitted do not comply with the covenant - a variance is required.

9. Please note, if the B.Z.A. issues a favorable decision regarding the issues above a Town Board hearing will then be required as per:

70-219(A)(1)(A) - No permit shall be issued for a site greater than 25,000 square feet in any zone other than Residence Open Space, Residence AAA, Residence AA, Residence A, Residence B, Residence C, Residence D, or Hospital District until a site plan, as specified in this section, has been approved by the Town Board, if any one or more of the following criteria are met: The site upon which the work is proposed involves one or more of the following: The construction of a new building or structure or addition to an existing structure of greater than 750 square feet of floor area.

Proposed: The plans submitted propose to construct a new commercial building with a gross floor area of 26,741 sqft.

Should you require clarification of any of the above issues please contact me at canzonerji@northhempsteadny.gov.

Sincerely,

Joseph Canzoneri, Jr.

Plans Examiner
Department of Buildings
Town of North Hempstead
210 Plandome Road
Manhasset, New York 11030
canzonerij@northhempsteadny.gov
MyToNH.com

Section 267-a 5(b) of Town Law requires that any appeal to the Board of Zoning Appeals shall be filed within sixty (60) days. Failure to file an appeal with the Town of North Hempstead Board of Zoning Appeals within sixty (60) days of the date of this notice will result in the expiration of the Building Permit Application. This law is strictly enforced.

Town of North Hempstead
 BOARD OF ZONING APPEALS
 P.O. Box 3000, Manhasset, New York 11030-2327
 (516) 869-7667 • Fax (516) 869-7812

Application for Variance, Conditional Use or Permit pursuant to the provisions of Chapter 70 of the Code of the Town of North Hempstead of 1973 and as amended

Receipt No. _____ Date _____ Appeal No. _____

Application must be fully completed and will not be accepted unless Affidavit of Ownership is executed by the record owner of the property described.

By filing this application, the Owner consents to allow the Board of Zoning Appeals to enter upon and inspect the property described.

Applicant 1285 Northern Boulevard LLC Address c/o McRory & McRory, PLLC, 124 Cherry Valley Avenue, Garden City, NY 11530

Owner Same as Applicant Address Same as Applicant

Name, address and phone # of Person who will appear for the applicant at the Public Hearing
Kathleen Deegan Dickson, Esq.; Forchelli Deegan Terrana LLP; 333 Earle Ovington Boulevard, Suite 1010, Uniondale, NY 11553; KDickson@ForchelliLaw.com; 516-248-1700

Item Application is hereby made for a Conditional Use or Special Use under Section(s) 70-126(D)
 A Application is hereby made for a Variance of Section(s) 70-103(A)(1), 70-103(F), 70-103(T), 70-132(A), 70-203(G), 70-212(B) & 70-229(A)
 Application is hereby made for a Permit under Section(s) 70-219(A)(1)(A)
 Application is hereby made for a determination under Chapter 70, Article XXIX, Section 70-103(T) of the code of the Town of North Hempstead under the authority of the Board of Zoning Appeals

B Subject premises situated on the northeast side (or corner) of Northern Boulevard ~~Street~~ feet of and Norgate Road ~~Street~~
 Street or house No. 1275 & 1285 Northern Boulevard & 22 Norgate Road
 Section 3 Block 53 Lot(s) 38, 53, 54 & 942 Zoning District Business A (B-A)

C To permit the: ~~Construction/Alteration/Conversion/Maintenance/Extension/Use of~~ a two-story, 26,741 square foot BMW automobile dealership

D Date of the attached Building Department's Notice of Disapproval January 11, 2023

E In connection with: a proposed ~~or existing~~ (circle one) automobile dealership

F Type of construction: ~~Brick/Frame/Masonry/other:~~ and glass Fireproof? Y/N

See Plans G Size of Lot x feet front feet rear feet depth total square feet
 Size of existing building: feet front feet deep Square footage
 Size of building as proposed: feet front feet deep Square footage
 Height of Building: existing stories/height / proposed stories/height /

H Use: Present (or former, if unoccupied) Funeral Home Proposed Auto Dealership
 Is there a petition before the Town Board for a Change of Zone? No

Appeal No(s) of any previous applications on these premises 8837, 7321, 9778, 8275 & 8937
 How long has owner held title to property? since July 27, 2021
 I Are the premises within 200 ft. of a school, public library, church, hospital, or orphanage? Yes
 Has any Violations being issued affecting the property? No
 Has a Court Summons been served relative to this matter? No

I hereby submit the principal points on which this application is based, with description of existing conditions and proposed work. In requesting a variance include a statement concerning your practical difficulty or hardship (attach separate sheet if necessary).

See attached Addendum

J

I hereby depose and say that all the above statements and information and all statements and information contained in paper submitted herewith are true.

Applicant's Signature *John Burns*
 Sworn to before me this 12th Day of December, 2022
 (Notary Public) *Vincent Trocchia*
 By: John Burns, Manager of 1285 Northern Boulevard LLC
 VINCENT TROCCHIA
 Notary Public, State of New York
 No. 01TR6287689
 Qualified in Suffolk County
 Commission Expires August 19, 2025

AFFIDAVIT OF OWNERSHIP

County of Nassau)
 State of New York) ss: John Burns being duly sworn, deposes and says that he/she resides at 1285 Northern Boulevard LLC has an office at 1285 Northern Boulevard LLC
 That he/she is ~~(the owner in fee)*~~ (the) Manager of 1285 Northern Boulevard LLC
 The corporation which is owner in fee)* of the premises described in this application shown on the Nassau County Land & Tax Map as Section No. 3 Block No. 53 Lot (s) 38, 53, 54 & 942
 that he/she has authorized Forchelli Deegan Terrana LLP to make this application and that the statements of fact contained in this application are true.

Owner's Signature *John Burns*
 Sworn to before me this 12th Day of December, 2022
 (Notary Public) *Vincent Trocchia*
 By: John Burns, Manager
 VINCENT TROCCHIA
 Notary Public, State of New York
 No. 01TR6287689
 Qualified in Suffolk County
 Commission Expires August 19, 2025

ADDENDUM

Application of 1285 Northern Boulevard LLC

Section 3, Block 53, Lots 38, 53, 54 & 942

Premises: 1275 & 1285 Northern Boulevard & 22 Norgate Road, Manhasset, NY 11030

The requested application relates to a site located at 1275 and 1285 Northern Boulevard and 22 Norgate Road in Manhasset, New York. The site is 77,327 square feet (1.78 acres), and it is accessible from Northern Boulevard by two two-way driveways. It is presently improved with a vacant funeral home. Pursuant to the Town of North Hempstead Zoning Map, the property is located in the Business A District (B-A) with a small portion of the property located in the Residence C District (R-C). It is designated on the Nassau County Land and Tax Map as Section 3, Block 53, Lots 38, 53, 54 and 942.

1285 Northern Boulevard LLC (hereinafter, the “Applicant”) proposes to demolish the existing vacant building and redevelop the site with a new two-story, 26,741 square foot BMW automobile dealership with a lower level. The Applicant seeks variances from §§ 70-103(A)(1), 70-103(F), 70-103(T), 70-132(A), 70-212(B), 70-203(G), and 70-229(A) of the Town of North Hempstead Code (hereinafter, the “Code”), for insufficient off-street parking, insufficient off-street loading provisions, proposed storage of automobiles on the site and in the required ten-foot front yard setback, accessory storage located closer than 120 feet to the front property line, no landscape buffer along the western and northern property lines where a 15-foot buffer is required, and non-compliance with the conditions of a previous decision rendered for the property. In addition, the Applicant seeks a conditional use permit pursuant to § 70-126(D), to operate a new auto dealership with exterior display of automobiles being offered for sale. If the variances are granted, the Applicant will apply to the Town Board for Site Plan Approval pursuant § 70-219(A)(1)(A) and a modification of the restrictive covenant that currently affects the property.

The proposed automobile dealership will not include a service department – all service and repairs will occur in an off-site facility owned by the Applicant – and approximately 5,445 square feet of the new two-story building will be utilized as office space. Based on the expected square footage and uses of the property, § 70-103(A)(1) of the Code requires 94 off-street parking spaces. The proposed parking areas servicing the dealership will provide 72 parking spaces, three of which will be handicap accessible. Therefore, a parking variance for 22 parking spaces is required.

Similarly, according to § 70-103(F), provisions for off-street loading and unloading must be made on all premises used for business purposes. Said provisions must be in a location that will not interfere with accessory parking nor means of ingress and egress thereto, and such areas must be surfaced in the same manner as the parking areas. The area to be allocated for loading and unloading must be at least ten feet in width, 25 feet in length and 15 feet in clear height. No provisions for off-street loading or unloading are proposed here, so a variance of § 70-103(F) is required.

Additionally, § 70-103(T) of the Code prohibits exterior storage of vehicles, except where specifically indicated as a permitted or conditional use in the zoning district in which they are located. Correspondingly, § 70-212(B) prohibits the storage of vehicles closer than 120 feet to the front property line, and § 70-132(A) requires the Applicant to maintain a front yard that is not less than ten feet in depth. Here, the Applicant proposes three separate vehicle display areas located within the required front yard setback along Northern Boulevard and one vehicle display area in the rear of the proposed building. Therefore, variances of §§ 70-103(T), 70-212(B), and 70-132(A) are required. While the Building Department classified the proposed vehicle display areas as “storage,” the display of vehicles is accessory to an auto dealership and therefore those areas should be classified as such rather than as “storage” of vehicles. Code § 70-125(S) permits

“Accessory uses on the same lot with and customarily incidental to any of the above permitted uses,” and therefore, the Applicant requests a determination from this Board that § 70-103(T) is not applicable. Should this Board find that it is applicable, the Applicant seeks a variance as alternative relief.

According to § 70-203(G), where a business district is within 15 feet of any residence district, there must be provided a landscaped area of at least 15 feet in depth adjoining such districts. Such landscaped area must be located within the same lot or site as the primary building or use in the business district, and it must be located along the property line abutting the adjacent properties or land containing the residential district. The applicant proposes to locate a portion of the 15-foot landscaped buffer on the residential portion of the property (lot 53), which will remain otherwise undeveloped, in order to maximize the parking on the site. As the Code requires the buffer to be located on the commercial portion of the site, a variance of § 70-203(G) is required, however the spirit and effect of the Code provision will be observed. The remainder of the buffer, where it abuts properties that are occupied with residences, will have the required buffer located on the commercial property and will conform with the Code requirements.

Lastly, § 70-229(A) requires every applicant, owner, and their successors to comply with all decisions of the Board of Zoning Appeals, including the provisions of any variance which has been granted by the Board and any permit or rider attached thereto. The Applicant’s proposed plans do not comply with the conditions of Decision #9778, which reflect the conditions of a Declaration of covenants and restrictions, dated February 5, 1954, and recorded in the Nassau County Clerk’s office on February 15, 1954. These restrictions relate to fencing design and location, as well as planted buffers and access to Norgate Road, and the decision of the Board related to a diner use on the property, approved in 1972. The site plan does not include access to Norgate Road; however, the Applicant proposes to modify the size, type, and location of the

required fences and the location of the landscaped buffer adjacent to the residentially-zoned portion of the site. Therefore, a variance of § 70-229(A) is required. Subsequent to receiving approvals from the Board of Zoning Appeals, the Applicant will request that the Town Board, with the consent of the Norgate Civic Association, permit a modification of the Declaration to reflect the development plan proposed under this application.

It will be demonstrated at the hearing, and as presented in the Traffic Impact Study prepared by R&M Engineering, dated January 2023, which is submitted herewith, that the proposed off-street parking is adequate to accommodate the uses on site, including the proposed offices, without any negative impact on the neighborhood or community at large. The Applicant's business has existed on Northern Boulevard in Queens under the name "BMW of Bayside" for decades; relocating to this location will simply provide more space for inventory display and maneuverability of vehicles on site, as well as improved customer experience for new and existing customers. Moreover, the absence of loading provisions on site will have no negative effect because all automobile servicing and repair will be done in the Applicant's service center at 266 East Shore Road in Great Neck, and all new car storage will similarly occur off-site at another facility owned by the Applicant. The majority of loading and unloading that will occur on the subject property will be in connection with the office use relating to the automobile dealership, which can be easily accommodated by the proposed parking areas on site. All new-car deliveries will be made singly, being driven to the site one-by-one as they are or being shown for sale. There will be no car-carrier trucks or other bulk vehicle deliveries being made to this site.

The granting of these variances will not have any negative impact on the character of the neighborhood, nor adversely affect the environmental conditions in the area. This site has remained an unoccupied funeral home for years; the Applicant's proposed dealership will be a much more aesthetically pleasing and valuable addition to the neighborhood. Also, Northern

Boulevard is home to various automobile dealerships similar to the one proposed here, including Empire Honda of Manhasset located directly across the street (south). There is no other method by which the Applicant can achieve its objective other than variances due to the size and unique configuration of the site. This automobile dealership will only provide vehicle sales, no mechanical work or services will be done on the property. The Applicant will use only the interior showroom and specificized areas on the plans for proposed vehicle display. Due to the limitations of the existing configuration of the property, the Applicant cannot strictly comply with the requirements of the Code. The proposed parking is configured as efficiently as possible in order to maximize the number of on-site parking spaces. While the variances may be numerically substantial, substantiality must be viewed from the totality of the circumstances, which weigh in favor of granting the relief because there will be no negative impact to neighbors nor the surrounding community. Finally, while the need for variances is technically self-created, in light of the aforementioned factors weighing in favor of granting the relief, this should not be dispositive.

As previously mentioned, in addition to the variances requested, the Applicant is also seeking a conditional use permit pursuant to § 70-126(D) of the Code for a new automobile dealership with exterior display of automobiles being offered for sale. Specifically, § 70-126(D) states that a building may be erected, altered or used and a lot or premises may be used for the parking, storage, and sale of automobiles only when authorized by the Board of Zoning Appeals pursuant to the provisions of Article XXIV.

Pursuant to § 70-225(B) of the Code, the Board should grant the requested conditional use because an automobile dealership of this type and scale in the Business A District is in-line with the purposes of zoning as set forth in the Town Law and uses permitted in the district, it is appropriate and in harmony with the surrounding properties in the community, and it will

contribute to the proper growth and development of the community and to its general welfare. Moreover, the proposed automobile dealership will not cause any negative impact to the immediate neighborhood nor be of such nature as to be objectionable to nearby residential dwellings by reason of noise, lights, vibration or other factors of impact.

Based on the foregoing, it is respectfully requested that the abovementioned relief be granted.

No. 9778 - Scobee-Great Neck Incorporated

Action of the Board: Application granted for a temporary period with conditions on motion of Mr. Brugal, seconded by Mr. Angell.

The Resolution:

WHEREAS on January 12, 1972 an application was filed by Scobee-Great Neck Incorporated for a permit under Article XX, Section 20.12 of the Building Zone Ordinance, to permit use of premises for accessory parking of motor vehicles in connection with operation of diner on adjoining property, premises being situated on the north side of Northern Boulevard, 85 feet east of Norgate Road, Manhasset, described on the Nassau County Tax Map as Section 3, Block 53, Lot 38, Business A District, and

WHEREAS a public hearing on this application was called by the Board of Zoning and Appeals at the town Hall, Manhasset, New York, on February 23, 1972, following due notice by publication in the Manhasset Press, and

WHEREAS at said hearing Ames D. Ressa, attorney, appearing in behalf of Mr. Nappi, attorney for the applicant, requested an adjournment to the Public Hearing on March 8, 1972 and the request was granted, and

WHEREAS at a meeting of the Board on March 8, 1972, Ralph A. Nappi, attorney for the applicant appeared in support of the application; and Bruce Davies and Mary Jane Davies, and Vincent O'Reilly appeared in opposition; and

WHEREAS at the close of said hearing decision was reserved pending reinspection, and subsequently continued reserved for several hearings; and

WHEREAS at a meeting of the Board on April 19, 1972, following reinspection and due consideration, the Board made the following findings of fact:

1. The applicant is the owner of a parcel of real property located on the north side of Northern Boulevard, 85 feet east of Norgate Road, Manhasset, New York, identified on the Nassau County Land and Tax Map as Section 3, Block 53, Lot 38. The property is entirely within a Business A District.

2. The property is irregular in shape, having a frontage of 95.68 feet on Northern Boulevard, an easterly side line of 150.50 feet, a rear northerly line of 100.03 feet and a westerly boundary line of 202.56 feet.

3. The property is presently improved by no structure and has been used in the past for accessory parking for a diner which is located on Lot 54 to the west.

4. The applicant seeks a permit under Article XX, Section 20.12 of the Building Zone Ordinance to permit use of the premises for accessory parking of motor vehicles in connection with the operation of a diner on the adjoining property.

5. This Board, after a physical inspection of the property, a review of the evidence submitted at the public hearing and upon a review of all prior records relating to the subject property, Lot 38, as well as the adjoining property, Lot 54, finds that both the subject lot, Lot 38, and Lot 54 are now owned in common ownership by the applicant.

6. This Board further finds that Scobee-Great Neck, Incorporated, presently owns and operates a diner on Lot 54 as a non-conforming use under the Building Zone Ordinance.

7. This Board further finds that the subject premises have been before this Board on several prior occasions, the earliest being in December, 1962, under Appeal #7321, whereby the then owner of the property, Donmar Realty Co., was granted a permit to use Lot 38 for the accessory parking of motor vehicles in connection with the operation of the adjoining diner for a period of three years.

8. This Board further finds that the property was again before this Board in February of 1966 under Appeal #8275 in which the then owner of the property, Donmar Realty Co., was granted a permit for accessory parking for a further period of three years terminating on January 9, 1969.

9. This Board further finds that both Lot 38 and Lot 54 were before this Board under Appeal #8937 and the applicant, Scobee-Great Neck, Incorporated, was granted certain variances to permit the erection of a commercial building used as a restaurant upon compliance with certain conditions set forth in a lengthy rider in said appeal. This decision was the subject matter of an Article 78 proceeding in the Supreme Court, Nassau County, after the Manager of the Building Department refused to issue building permits because the proposed plans and specifications did not conform with this Board's decision. The Supreme Court on passing on this litigation directed the applicant back to the Board of Zoning and Appeals for further relief. Since the applicant failed to authorize the scheduling of a public hearing on a new application before the Board of Zoning and Appeals, the grant of variances under Appeal #8937 lapsed as a matter of law pursuant to the provisions of Section 22.18 of the Building Zone Ordinance.

10. This Board further finds that the applicant now seeks relief under Section 20.12 of the Building Zone Ordinance which is as follows:

"Parking on Vacant Lots

"Section 20.12. Accessory parking of more than five (5) automobiles or other motor vehicles on a vacant lot or lots situate within Business or Industrial Districts may be permitted by the Board of Zoning and Appeals for a limited duration of time and subject to such conditions and safeguards as the Board may deem proper. The use of such lot or lots shall not include any other use or any storage, servicing or dismantling of automobiles or other motor vehicles. Such parking area shall not be used for any gainful purpose."

11. This Board further finds that it is **unconscionable for this Board to consider and pass upon the application on Lot 38** without consideration and reference to the present conditions and the use of the premises on the adjoining property, namely Lot 54.

12. This Board further finds that since both Lot 38 and Lot 54 are in common ownership by Scobee-Great Neck, Incorporated, they should and must be considered simultaneously.

13. This Board further finds that although the experience of the Building Department during the past few years as to many alleged violations of the maintenance provisions of the Building Zone Ordinance as respecting the subject properties does not lead to a favorable disposition towards this appeal, nevertheless the imposition of the restrictions to be contained on a rider attached to this decision would adequately protect the Town and give the Building Department the necessary guidelines and standards to enforce the maintenance provisions of the Building Zone Ordinance in the future.

14. This Board further finds that the continued existence of the diner on Lot 54 without an approval of the accessory parking on Lot 38 would be an extreme hardship on the applicant.

15. The Board further finds that it is in the public interests to grant the relief sought by this application. However, it is also in the public interest that the permits be limited in time and also be further limited by restrictions placed on a rider attached to the decision filed with the Office of the Town Clerk.

16. The Board further finds that the development and use of Lot 38 for accessory parking purposes only by the employees and patrons of the diner located on Lot 54

will secure the public health, safety and welfare of the adjoining Manhasset community.

NOW, THEREFORE, BE IT RESOLVED that this application be and the same hereby is granted permitting continued use of premises for accessory parking of motor vehicles in conjunction with the operation of diner on adjoining property for a period of 5 years terminating on April 18, 1977, on condition that the applicant comply with the following conditions:

1. That in accordance with a Restrictive Covenant heretofore imposed on adjoining property (Lot 54) a landscaped area 10 feet in depth from the north property line of said lot shall be installed and or maintained from the northwest corner of the parcel adjoining Norgate Road easterly for a distance of 75 feet. A peeled cedar stockade fence 6 to 7 feet in height with finished side facing abutting property shall be erected and or maintained along the southerly line of said landscaped area from the easterly side of Norgate Road for a distance of 75 feet and thence continue with said fence in a northerly direction along the east property line of Lot 54 for a distance of 10 feet to the north property line of said lot.

2. That along the westerly boundary line of Lot 54 abutting Norgate Road, beginning at the southwest corner of the parcel, a split rail fence shall be installed and or maintained for a distance of 75 feet northerly of the beginning point. A peeled cedar stockade fence 5 feet in height with finished side facing Norgate Road shall be installed and or maintained from the termination of the split rail fence northerly to a point 10 feet south of the northwest corner of said parcel in order to meet with the fencing set forth in paragraph 1.

3. A fluted metal bumper guard rail shall be erected running parallel to and on the east and south sides of the stockade fence referred to in paragraphs 1 and 2.

4. A peeled cedar stockade fence 6 to 7 feet in height with finished side facing residential properties abutting Lot 38, shall be erected along the west property line and the north property line of said lot. A landscaped

area 15 feet in depth from said fencing shall be established and or maintained in good condition at all times.

5. All shrubs and plants used to establish and to maintain the aforesaid landscaped areas shall be of nursery grown stock and any shrubs, plants or trees which have died and or otherwise have been destroyed or may die or be destroyed in the future shall likewise be replaced with nursery grown stock.

6. All open areas of the premises - Lots 38 and 54 - allocated for driveways and off-street parking shall be paved in accordance with Town of North Hempstead specifications.

7. The applicant shall comply with all conditions recited herein within ninety (90) days from the date of this decision.

BE IT FURTHER RESOLVED that the Manager of the Building Department be and he hereby is authorized to issue the required permit in accordance with the provisions of this resolution.

Adopted: Ayes: Messrs. Brugal, Caltabiano,
Angell and Siegel.
Nays: None (Mr. Kraemer absent)

THIS DECLARATION

of covenants submitted this 5th day of February, 1954, by DANTE DONNO, residing at 90 Longview Road, Port Washington, Nassau County, New York,

WHEREAS, the said DANTE DONNO is the owner of the following described premises:

ALL that certain plot, piece or parcel of land situate lying and being at Manhasset, Town of North Hempstead, County of Nassau and State of New York, bounded and described as follows:-

BEGINNING at the corner formed by the intersection of the northerly side of Northern Boulevard, with the easterly side of Norgate Road; running thence northerly along the easterly side of Norgate Road, 157.34 feet to the southwest corner of Plot 53, on a certain map entitled, "Amended Map of Property, 'Norgate-at-Manhasset,' situated at Manhasset, Nassau County, N.Y., belonging to Reliance Building, Inc., surveyed by the Manhasset Civil Engineers, Inc., D. C. Will, President, John J. Rairden, Vice-President, 351 Rianome Road, Manhasset, New York," and filed in the Nassau County Clerk's Office as map no. 3791; running thence South 83 degrees 34 minutes 14 seconds East along the southerly line of Plot 53, on said map, a distance of 75 feet to land now or lately of Skidmore; running thence South 1 degree 25 minutes 56 seconds West, along the westerly line of said land of Skidmore 116.95 feet to the northerly side of Northern Boulevard; running thence South 63 degrees 7 minutes 21 seconds West 85.19 feet to the point or place of BEGINNING.

AND, WHEREAS, the southerly portion of the aforesaid premises is zoned as Business "A" Zone pursuant to the Building Zone Ordinance of the Town of North Hempstead, County of Nassau, and State of New York, and

WHEREAS, the northerly portion is zoned as Residential, pursuant to said Building and Zone Ordinance, and

WHEREAS, on the 15 day of Dec, 1953, an application was made to the Town Board of the Town of North Hempstead by Dante Donno, the owner of the aforementioned property, for a change of zone so that portion of the aforementioned property which is in the Residential Zone as afore-

7/10-2
3
53
54

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said, should be rezoned to the Business Zone "A", and

WHEREAS the Town Board of the Town of North Hempstead did grant such application for the amendment of the Building Zone Ordinance of the Town of North Hempstead, County of Nassau, State of New York, so as to put all of the aforementioned property known as Block 54, Section 3, Lot 54, as now shown on the Land and Tax Map of the County of Nassau, in the Business "A" Zone, and

WHEREAS, said Dante Donno is desirous of declaring the hereinafter declaration, and imposing the hereinafter mentioned restrictive covenants on the hereinbefore described premises.

NOW, THEREFORE, DANTE DONNO, in consideration of One (\$1.00) Dollar and other good and valuable considerations, the receipt of which is hereby acknowledged, does hereby impose upon the aforementioned premises the following declaration and restrictive covenants, and he further declares that said property is to be held and shall be conveyed subject to the same.

That the aforementioned premises shall along the northerly boundary line which boundary line commences at a point 157.34 feet from the corner formed by the intersection of the northerly side of North Hempstead Turnpike and the Easterly side of Norgate Road, shall be enclosed by a fence known as a "stockade" fence six to seven feet in height, which fence is to be erected ten (10) feet from said boundary line, the finished side to be exposed on the north side of said fence. That portion of the premises between the line of the fence and the boundary line of the property shall be landscaped and screened, said screening and landscaping to consist of evergreens four to five feet in height.

That at the westerly boundary line of said premises commencing at a point seventy-five (75) feet north of the

corner formed by the intersection of the easterly side of Norgate Road and the north side of North Hempstead Turnpike, shall be enclosed by a fence known as "stockade" fence five feet in height, which fence is to be erected on the boundary line, the finished side to be exposed on the west side of the fence, and a split rail fence from there to the corner. That a concrete curb shall be installed on the east side of the fence to prevent damage thereto by automobiles, etc. parking there. That portion of the premises between the line of the fence and the street line shall be landscaped and screened, said screening and landscaping to consist of evergreens four to five feet in height.

That no driveway entrance or exit shall now or any time hereafter be constructed so as to provide for access on Norgate Road for vehicular traffic.

That the premises commencing at a depth of 100 feet from the southerly boundary line and Northern Boulevard shall be used for parking motor vehicles only, and no structures shall be erected thereon.

The aforementioned declaration shall be enforced by the owners adjoining and adjacent to the aforementioned property.

That the declaration or restrictive covenants or any portion thereof may be modified, altered, or rescinded by the written consent of the Town of North Hempstead, or its successors, and the Norgate Civic Association or its successors.

The aforementioned declaration and restrictive covenants shall run with the land, and that this agreement will be binding upon the legal representatives, heirs and assigns of DANTE DONNO.

IN WITNESS WHEREOF, the party hereto has set his hand and seal the day and year first above written.

 (L.S.)

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STATE OF NEW YORK)
COUNTY OF NASSAU) ss.:

On the 5th day of February, 1954, before me personally came DANTE DONNO, to me known and known to me to be the individual described in, and who executed the foregoing instrument, and acknowledged to me that he executed the same.

Donald A. Capotomasco
Notary Public, State of New York
No 30-560650
Qualified in Nassau County.

STATE OF NEW YORK,
COUNTY OF NASSAU, } ss.:
TOWN OF NORTH HEMPSTEAD }

I, WILLIAM H. RYAN, JR., TOWN CLERK of the TOWN OF NORTH HEMPSTEAD and custodian of the records of said Town, DO HEREBY CERTIFY that I have compared the annexed with the original Declaration of Restrictions on file in my office, and that the same is a true transcript thereof, and the whole of said original.

IN TESTIMONY WHEREOF,
I have hereunto signed my name
and affixed the official seal of
said TOWN.

this 5th day of April, 1968

William H. Ryan Jr.
TOWN CLERK

Town of North Hempstead

Department of Building Safety, Inspection & Enforcement

210 Plandome Road, Manhasset, NY 11030-2326 • Tel. 516-869-6311 • Fax 516-869-7662

www.northhempsteadny.gov

Application Number: _____
(Official Use Only)

COMMERCIAL ZONING ANALYSIS SUBMISSION SHEET

[Required for submission with all Commercial Alterations, Additions and New Building Permit Applications.]

Address: 1285 Northern Blvd., Manhasset

Section: 3 Block: 53 Lot(s): 38, 53, 54 & 942

Zoning District:	<u>B-A</u>	Total Lot Area:	<u>77,327</u> sq. ft.
Max. Permitted Coverage:	<u>54,128.9</u> sq. ft.	Proposed Coverage:	<u>10,648</u> sq. ft.
Max. Permitted Coverage:	<u>70</u> %	Proposed Coverage (%):	<u>13.8</u> %
Front Yard Required:	<u>10</u> ft.	Front Yard Provided:	<u>11.4</u> ft.
Front Yard Required:	<u>10</u> ft.	Front Yard Provided (Corner)	<u>107.4</u> ft.
Min. Side Yard Permitted:	<u>0 (Com.)</u> ft.	Side Yard (1) Provided:	<u>26</u> ft.
Min. Side Yard Permitted:	<u>15</u> ft.	Side Yard (2) Provided:	<u>107.4</u> ft.
Rear Yard Required:	<u>15</u> ft.	Rear Yard Provided:	<u>37.4</u> ft.
Landscaped Buffer:	<u>15</u> ft.	Landscaped Buffer:	<u>15</u> ft.
Max. Height Permitted:	<u>40</u> ft.	Max. Height Proposed:	<u>33*</u> ft.

* From Average Grade

Parking Calculations:	To Be Calculated Per the Following Requirements		
Retail (deduct 1,000 sf)	1 space: 300 sf	sf	spaces
Office	1 space: 200 sf	sf	spaces
Medical Office	1 space: 150 sf	sf	spaces
All Other Businesses	1 space: 300 sf	sf	spaces
Assembly	1 space: 4	sf	spaces
Warehouses/Storage	1 space: 600 sf	sf	spaces
Other	Auto Dealer (Sales) 1 space: 300 sf @ 21,296 sf	sf	71 spaces
	Auto Dealer (Office)(Deduct 1,000 sf) 200 sf @ 4,445 sf		23 spaces
Parking Spaces Required:			<u>94</u> spaces
Off Street Loading Bays:	1: 10,000 sf	sf	N/A loading bays

Architect/Engineer: Business/Corporate: R&M Engineering

First: Christopher Last: Robinson Middle: W Lic. 67519

Street: 50 Elm Street City: Huntington

State: NY Zip: 11743 Fax.: (361) 271-0592

Architect/Engineer Stamp and Original Signature MUST appear here.



TOWN OF NORTH HEMPSTEAD
BOARD OF ZONING APPEALS

-----X
In the matter of the Application of:

**DISCLOSURE
AFFIDAVIT**

1285 NORTHERN BOULEVARD LLC
-----X
STATE OF NEW YORK)
ss.:
COUNTY OF NASSAU)

JOHN BURNS, being duly sworn, deposes and says:


1. That I am a Manager of 1285 Northern Boulevard LLC, the applicant and owner of the land subject to this application, and am fully familiar with all the facts and circumstances hereinafter set forth.
2. That the business address of 1285 Northern Boulevard LLC is c/o McRory & McRory, PLLC, 124 Cherry Valley Avenue, Garden City, NY 11530.
3. That said Limited Liability Company was formed under the laws of the State of New York on June 29, 2021.
4. The member(s) of 1285 Northern Boulevard LLC are as follows:
See attached List of Members.
5. That there are no encumbrances or holders of any instrument creating an encumbrance upon the subject property.
6. That neither deponent nor any other person mentioned in this affidavit is a Town of North Hempstead officer or employee, or is related to a Town officer or employee.
7. That in the event there is any change in the matters set forth herein prior to the granting of the relief for the property affected hereby, deponent will file with the Town of North Hempstead a supplemental affidavit indicating the details of such change within 48 hours of such change.

1285 NORTHERN BOULEVARD LLC

By: 

John Burns, Manager

Sworn to before me this
12th day of Dec, 2022.


Notary Public

VINCENT TROCCHIA
Notary Public, State of New York
No. 01TR6287689
Qualified in Suffolk County
Commission Expires August 19, 2025

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: 1285 Northern Blvd		
Project Location (describe, and attach a general location map): 1285 Northern Blvd, 279 feet west of Plandome Road		
Brief Description of Proposed Action (include purpose or need): Applicant is seeking to demolish existing building (formerly funeral home) and associated pavement and establish a new dealership, with new pavement, drainage structures, outdoor lighting, and utilities.		
Name of Applicant/Sponsor: John Burns		Telephone: 516-238-2560
		E-Mail: jburns@lexusofsmithtown.com
Address: 700 E Jericho Turnpike		
City/PO: St. James	State: NY	Zip Code: 11780
Project Contact (if not same as sponsor; give name and title/role): Gino Tedesco		Telephone: 631-271-0576
		E-Mail: gtedesco@rmengineering.com
Address: 50 Elm St		
City/PO: Huntington	State: NY	Zip Code: 11743
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of North Hempstead Town Board (Site Plan)	May 2022
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of North Hempstead BZA (Variances)	June 2022
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Department, Great Neck Sewer District, Manhasset-Lakeville WD, PSEG & National Grid	Building - May 2022 All others - Pending
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT-HWP/NYS DEC-SWPPP	NYSOT-May NYS DEC - Pending
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
NYS Heritage Areas: LI North Shore Heritage Area	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? Business A District	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the use permitted or allowed by a special or conditional use permit?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action? If Yes, i. What is the proposed new zoning for the site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
C.4. Existing community services.	
a. In what school district is the project site located? Manhasset UFSD	
b. What police or other public protection forces serve the project site? Nassau Police Precinct 6	
c. Which fire protection and emergency medical services serve the project site? Manhasset-Lakeville Fire District	
d. What parks serve the project site? Manhasset Valley Park, Whitney Pond Park, Mary Jane Davies Green	

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial	
b. a. Total acreage of the site of the proposed action? _____ 1.77 acres b. Total acreage to be physically disturbed? _____ 1.77 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1.77 acres	
c. Is the proposed action an expansion of an existing project or use? i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Is the proposed action a subdivision, or does it include a subdivision? If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____ ii. Is a cluster/conservation layout proposed? _____ iii. Number of lots proposed? _____ iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
e. Will the proposed action be constructed in multiple phases? i. If No, anticipated period of construction: _____ 12 months ii. If Yes: • Total number of phases anticipated _____ • Anticipated commencement date of phase I (including demolition) _____ month _____ year • Anticipated completion date of final phase _____ month _____ year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 2

ii. Dimensions (in feet) of largest proposed structure: 39.5 height; 121' width; and 88' length

iii. Approximate extent of building space to be heated or cooled: 26,741 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
If Yes:

i. Total anticipated water usage/demand per day: _____ 800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
If Yes:

- Name of district or service area: Manhasset-Lakeville Water District
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 800 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary Wastewater: _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
If Yes:

- Name of wastewater treatment plant to be used: Great Neck Wastewater Treatment Plant
- Name of district: Great Neck Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?

 56.9k Square feet or 1.30 acres (impervious surface)
 77.3k Square feet or 1.77 acres (parcel size)

ii. Describe types of new point sources. New pavement, curb, roof drainage _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 All proposed pavement will be directed towards on-site catch basins and will be treated via on-site subsurface drainage leaching pools

• If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of 11am to 3pm

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
n/a

iii. Parking spaces: Existing 66 Proposed 83 Net increase/decrease +17

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
N/A. No vehicle deliveries at the site

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	<u>7am-3pm</u>	• Monday - Friday:	<u>8am-8pm</u>
• Saturday:	<u>n/a</u>	• Saturday:	<u>8am-8pm</u>
• Sunday:	<u>n/a</u>	• Sunday:	<u>n/a</u>
• Holidays:	<u>n/a</u>	• Holidays:	<u>8am-6pm</u>

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
 Construction activities may rise above ambient noise levels during hours of operation _____

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 On-site lighting with 20' max mounting height with house-side shields and flat lens, fixtures will be Dark-Sky compliant. _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ +/- 2,400 tons per _____ construction period (unit of time)
 • Operation: _____ 10 tons per _____ year (unit of time) *No Vehicle Service
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: Metal, asphalt and concrete to be separated at site and carted to recycling facility _____
 • Operation: _____ Materials will be source separated and picked up by approved carting contractor for recycling.
 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: Materials will be placed in dumpsters to be carted away for disposal by accredited waste management contractor.
 • Operation: _____ Solid Waste to be placed into dumpsters and removed on a scheduled garbage collection date by a carting contractor and disposed of at an approved solid waste facility.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe:
 Commercial to the East & West of the site, residential to the north and west

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.357	1.306	-0.051
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: Grass area _____	.418	.468	0.05

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
i. Identify Facilities:
 St. Mary's High School, Manhasset Middle School, Manhasset Secondary School

e. Does the project site contain an existing dam? Yes No
 If Yes:
i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): 130232, V00396
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
 130232: Remedial actions have successfully achieved soil cleanup objectives for continued industrial use. Any residual contamination is being managed under a Site Management Plan. V00396: The site is completely fenced, which restricts public access. However, persons who enter the site could contact contaminants in the soil and open swale sediments by walking on the site, digging or otherwise disturbing the soil and sediments.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ +/- 600 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Ug Urban Land _____ 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ 70 feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ 100 % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Sole Source Aquifer Names: Nassau-Suffolk SSA _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: Site is pre-developed with 64.9% <u>suburban rodents, and typical northeast</u> <u>impervious area. Wildlife is not expected</u> <u>region bird species.</u> to occupy the site but may be inhibited by _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____</p>	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p>ii. Name: _____</p> <p>iii. Brief description of attributes on which listing is based: _____</p>	
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>	
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>	
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	

F. Additional Information


Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

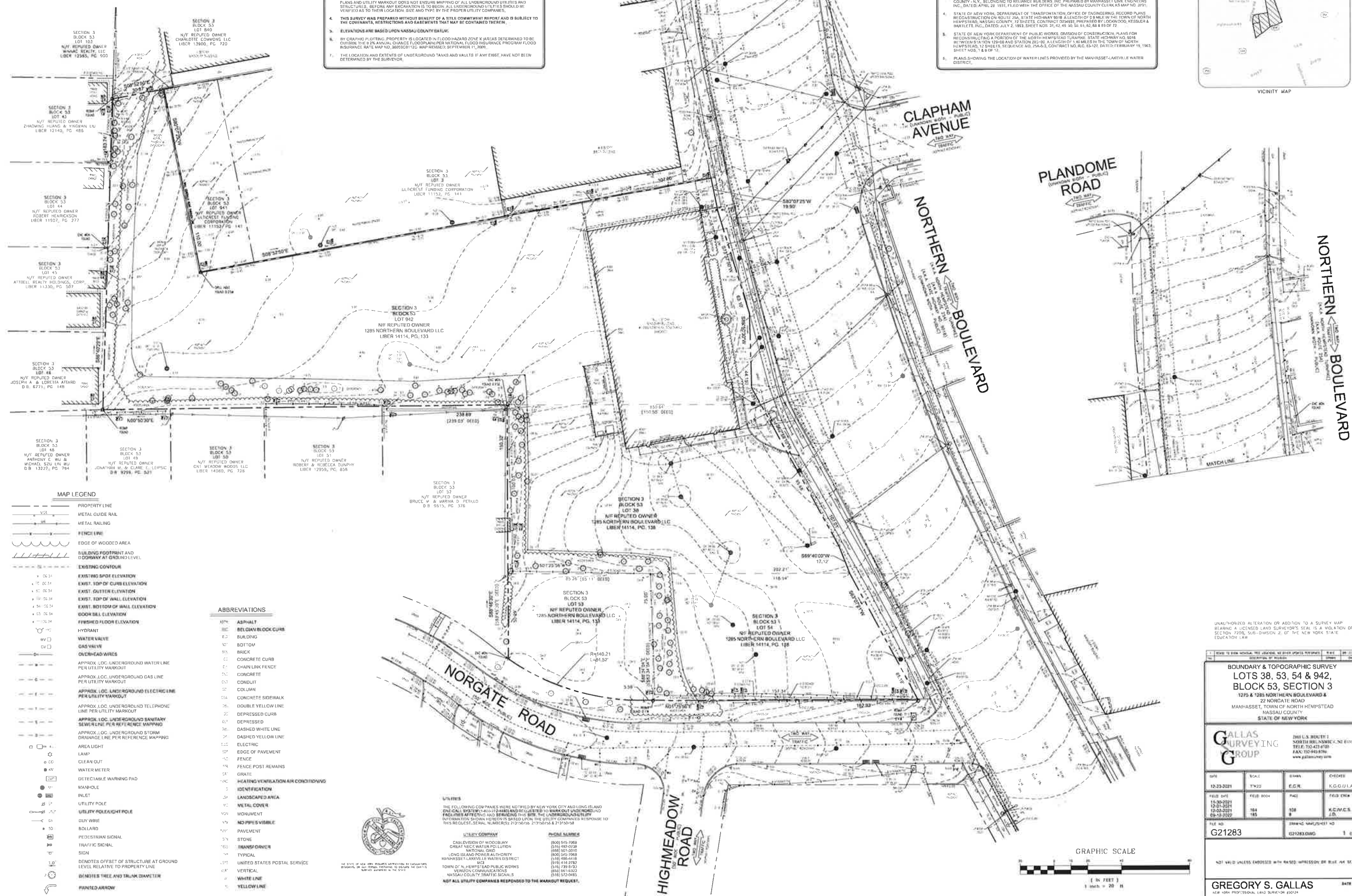
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Gino Tedesco Date May 25, 2022

Signature  Title Associate

- NOTES:**
- PROPERTY KNOWN AS LOTS 38, 53, 54 & 942, BLOCK 53, SECTION 3 AS DESIGNATED ON THE OFFICIAL TAX MAP FOR THE TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK, LAST REVISED APRIL 27, 2023.
 - AREA: 77,927 S.F. OR 1.78 AC.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND DEEPS ARE BASED ON UTILITY MARK CUTS ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY AND ARE SUBJECT TO CHANGE. THIS SURVEY DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS ARE BASED UPON NASSAU COUNTY DATUM.
 - BY CLARIFIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 26050C012D, MAP DATED: SEPTEMBER 11, 2009.
 - THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.

- REFERENCES:**
- MAP OF PROPERTY SITUATED IN MANHASSET, NASSAU COUNTY, N.Y., TAX SECT. 3, TAX BLOCK 53, TAX LOT(S) 38, 53, 54 & 942, PREPARED BY EMPIRE STATE LAND SURVEYOR P.C., DATED: MAY 8, 2018.
 - MAP OF PROPERTY "NORWATE - AT - MANHASSET", SITUATED AT MANHASSET, NASSAU COUNTY, N.Y., BELONGING TO RELIANCE BUILDERS INC. PREPARED BY MANHASSET CIVIL ENGINEERS INC., DATED: JULY 15, 2018, FILED WITH THE OFFICE OF THE NASSAU COUNTY CLERK AS MAP NO. 4691.
 - AMENDMENT MAP OF PROPERTY "NORWATE - AT - MANHASSET", SITUATED AT MANHASSET, NASSAU COUNTY, N.Y., BELONGING TO RELIANCE BUILDERS INC. PREPARED BY MANHASSET CIVIL ENGINEERS INC., DATED: APRIL 29, 1931, FILED WITH THE OFFICE OF THE NASSAU COUNTY CLERK AS MAP NO. 3791.
 - STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION OFFICE OF ENGINEERING, RECORD PLANS RECONSTRUCTION OF ROUTE 20A, STATE HIGHWAY 8018 A LENGTH OF 0.9 MILE IN THE TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, 72 SHEETS, CONTRACT NUMBER, PREPARED BY JOCKWOOD, FESSLER & MARLETTE, INC., DATED: JULY 2, 1993, SHEET NOS. 31, 42, 49, 50, 56, 61, 62, 68 & 69 OF 72.
 - STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION, PLANS FOR RECONSTRUCTING A PORTION OF THE NORTH HEMPSTEAD TURNPIKE, STATE HIGHWAY NO. 8018 BETWEEN STATION 129+00 AND STATION 205+00 A LENGTH OF 7.6 MILES IN THE TOWN OF NORTH HEMPSTEAD, 12 SHEETS, REFERENCE NO. 2266-S, CONTRACT NO. PC-59-92, DATED: FEBRUARY 18, 1963, SHEET NOS. 1 & 6 OF 12.
 - PLANS SHOWING THE LOCATION OF WATER LINES PROVIDED BY THE MANHASSET-LEAKEVILLE WATER DISTRICT.



MAP LEGEND

---	PROPERTY LINE
---	METAL GUIDE RAIL
---	METAL RAILING
---	FENCE LINE
---	EDGE OF WOODED AREA
---	BUILDING FOOTPRINT AND DRIVEWAY AT GROUND LEVEL
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXIST. TOP OF CURB ELEVATION
---	EXIST. GUTTER ELEVATION
---	EXIST. TOP OF WALL ELEVATION
---	EXIST. BOTTOM OF WALL ELEVATION
---	DOOR SILL ELEVATION
---	FINISHED FLOOR ELEVATION
---	HYDRANT
---	WATER VALVE
---	GAS VALVE
---	OVERHEAD WIRES
---	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
---	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT
---	APPROX. LOC. UNDERGROUND ELECTRIC LINE PER UTILITY MARKOUT
---	APPROX. LOC. UNDERGROUND TELEPHONE LINE PER UTILITY MARKOUT
---	APPROX. LOC. UNDERGROUND SANITARY SEWER LINE PER REFERENCE MAPPING
---	APPROX. LOC. UNDERGROUND STORM DRAINAGE LINE PER REFERENCE MAPPING
---	AREA LIGHT
---	LAMP
---	CLEAN OUT
---	WATER METER
---	DETECTABLE WARNING PAD
---	MANHOLE
---	INLET
---	UTILITY POLE
---	UTILITY POLE/HIGH TENSION POLE
---	GUY WIRE
---	BOLLARD
---	PEDESTRIAN SIGNAL
---	TRAFFIC SIGNAL
---	TYPICAL
---	IDENTIFIES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
---	VERTICAL
---	INDICATES TREE AND TRUNK DIAMETER
---	PAINTED ARROW

ABBREVIATIONS

ASPH	ASPHALT
BLCK	BELGIAN BLOCK CURB
BULD	BUILDING
BTM	BOTTOM
BRCK	BRICK
CC	CONCRETE CURB
CL	CHAIN LINK FENCE
CONC	CONCRETE
COND	CONDUIT
COLM	COLUMN
CSA	CONCRETE SIDEWALK
DY	DEPRESSED CURB
DEP	DEPRESSED
DASH	DASHED WHITE LINE
DASH	DASHED YELLOW LINE
ELEC	ELECTRIC
EP	EDGE OF PAVEMENT
FENCE	FENCE
FPR	FENCE POST REMAINS
GRATE	GRATE
HVAC	HEATING VENTILATION AIR CONDITIONING
ID	IDENTIFICATION
LAND	LANDSCAPED AREA
LANC	LAND COVER
MON	MONUMENT
NPV	NO PIPES VISIBLE
PAV	PAVEMENT
STN	STONE
TRNS	TRANSFORMER
TYP	TYPICAL
USPS	UNITED STATES POSTAL SERVICE
VERT	VERTICAL
WLINE	WHITE LINE
YLINE	YELLOW LINE

UTILITIES

THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK CITY AND LONG ISLAND ONE-CALL. BY 7:00 AM ON 07/27/2024 AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AT THE SITE AND BRANDING THE SAME. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBERS: 71370636, 21152053 & 21152058

UTILITY COMPANY	PHONE NUMBER
CABLEVISION OF WOODBURY	(800) 545-7062
GREAT NECK WATER POLLUTION	(516) 482-0228
NATIONAL ONE-CALL	(609) 501-3010
LONG ISLAND POWER AUTHORITY	(800) 545-7068
MANHASSET-LAKEVILLE WATER DISTRICT	(516) 486-4418
MCD	(516) 414-2782
VERIDON COMMUNICATIONS	(516) 778-8222
NASSAU COUNTY TRAFFIC SIGNALS	(516) 961-8322
NYSDOT	(516) 572-0465

NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7206, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

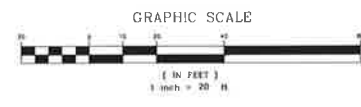
BOUNDARY & TOPOGRAPHIC SURVEY
LOTS 38, 53, 54 & 942,
BLOCK 53, SECTION 3
 1295 & 1285 NORTHERN BOULEVARD &
 22 NORGATE ROAD
 MANHASSET, TOWN OF NORTH HEMPSTEAD
 NASSAU COUNTY
 STATE OF NEW YORK

GALLAS SURVEYING GROUP
 290 U.S. ROUTE 1
 NORTH HEMPSTEAD, NY 11762
 TELE: 516-473-6700
 FAX: 516-463-8700
 www.gallasurveying.com

DATE	SCALE	DRAWN	CHECKED
12-29-2024	1"=20'	E.G.R.	K.G.GALLAS
FIELD DATE	FIELD BOOK	PAGE	FIELD SHEET
12-29-2024	184	108	K.G.GALLAS
12-29-2024	185		J.D.
FILE NO.	PROJECT NAME/SECTION NO.		
G21283	021283.DWG	1 of 1	

NOT VALID UNLESS ENDORSED WITH RATED IMPRESSION OR BLUE INK SEAL

GREGORY S. GALLAS
 0418
 NEW YORK PROFESSIONAL LAND SURVEYOR 20074



SITE DEVELOPMENT PLANS

FOR

1285 NORTHERN BOULEVARD

SITUATED IN

MANHASSET



TOWN OF NORTH HEMPSTEAD NASSAU COUNTY, NEW YORK

GENERAL NOTES

- R&M ENGINEERING SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, OR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ALL EXISTING STRUCTURES SPECIFIED TO BE REMOVED, SHALL BE REMOVED AND BACKFILLED. BACKFILL TO BE SELECT GRANULAR FILL, COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY MODIFIED PROCTOR TEST.
- ALL FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% OF THE MAXIMUM DENSITY AT THE OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE MODIFIED PROCTOR TEST.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.
- ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN, COUNTY, STATE OR AS SPECIFIED HEREIN, LATEST EDITIONS.
- PROPOSED ELECTRIC AND TELEPHONE SERVICE LOCATIONS SUBJECT TO PSEG LONG ISLAND AND VERIZON DESIGN AND APPROVAL.
- INSTALLATION OF ELECTRIC AND GAS SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM, AS A MINIMUM TO THE REQUIREMENTS OF PSEG LONG ISLAND AND NATIONAL GRID.
- INSTALLATION OF TELEPHONE SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR, BY WHICH ALL WORK SHALL CONFORM, AS A MINIMUM, TO THE REQUIREMENTS OF VERIZON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR INSTALLATION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS FOR THE PRECONSTRUCTION OF ANY SANITARY SYSTEM FROM ALL GOVERNING AGENCIES.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL THE UTILITY OR MUNICIPAL AGENCY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE THE REQUIRED UTILITY AND MUNICIPAL INSPECTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY AND FOR THE INSTALLATION OF SIGNS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY TO REMOVE ANY EXCAVATED MATERIALS.
- UNSUITABLE MATERIAL, AS DEFINED IN SECTION 203 OF N.Y.S.D.O.T. STANDARD SPECIFICATIONS EDITION, UNDER PAVEMENT, WALKS AND CONCRETE SLABS SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL.
- SELECT GRANULAR MATERIAL SHALL BE AS DEFINED IN SECTION 203 OF THE N.Y.S.D.O.T. STANDARD SPECIFICATIONS.
- COMPACTION SHALL CONFORM TO N.Y.S.D.O.T. SECTION 203.
- ALL CONCRETE CURBING, SIDEWALK, AND DRAINAGE STRUCTURES SHALL CONFORM TO THE DETAILS AND SPECIFICATIONS PROVIDED WITHIN THE LATEST APPROVED PLANS AS APPROVED BY THE TOWN.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- ELEVATIONS REFER TO NASSAU COUNTY DATUM.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, WITH PRECAST OPENINGS FOR DRAINAGE PIPE(S) AND SHALL CONFORM TO THE TOWN STANDARD DETAILS AND SPECIFICATIONS.
- THE BUILDING(S) SHALL BE CONNECTED TO THE SANITARY SEWER UNDER THE REQUIRED TOWN AND COUNTY SEWER PERMITS. CONSTRUCTION OF APPLICABLE WATER AND SEWAGE FACILITIES IN THE SITE SHALL CONFORM TO PART 74, TITLE 10 AND PART 653, TITLE 6 OF THE OFFICIAL COMPILATION OF CODES, RULES AND REGULATIONS OF THE STATE OF NEW YORK.
- ALL EXISTING SANITARY STRUCTURES, SPECIFIED TO BE ABANDONED, SHALL BE PUMPED EMPTY AND FILLED WITH CLEAN, COMPACTED SAND, EXCEPT WHERE NOTED.
- THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING TO BECOME FAMILIAR WITH PRESENT CONDITIONS AND TO JUDGE FOR THEMSELVES THE EXTENT AND NATURE OF WORK TO BE DONE.
- ALL PARKING LOT LIGHTING POLES, LIGHTING FIXTURE CONFIGURATIONS, AND COLOR SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NECESSARY TRAFFIC CONTROLS WITHIN THE SITE AND SHALL HAVE A NEW YORK STATE PROFESSIONAL ENGINEER DESIGN AND SUPERVISE THE INSTALLATION OF ALL TRAFFIC CONTROLS CONFORMING TO NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE PROFESSIONAL ENGINEER SHALL SUBMIT A SIGNED AND SEALED CERTIFICATION THAT ALL TRAFFIC CONTROL DEVICES ON TOWN, COUNTY AND NEW YORK STATE HIGHWAYS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR, AT HIS EXPENSE, SHALL ALSO BE RESPONSIBLE FOR THE REPAIR AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES WITHIN THE SITE AND SHALL NOT AMEND THE SIGNAGE AND/OR PAVEMENT MARKINGS WITHOUT HAVING A NEW YORK STATE PROFESSIONAL ENGINEER PREPARE AND SUBMIT A TRAFFIC PLAN TO THE BUILDING DEPARTMENT.
- THE CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY SHEETING, SHORING AND BRACING OF EXCAVATIONS AS REQUIRED TO CONSTRUCT THE ON-SITE IMPROVEMENTS AND TO PREVENT DISTURBANCE TO ADJOINING PROPERTIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER AND/OR TOWN WITH DESIGN AND SPECIFICATIONS PRIOR TO CONSTRUCTING IMPROVEMENTS.
- CONTRACTOR SHALL NOTIFY THE TOWN AND THE ENGINEER 48 HOURS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR THE REQUIRED SITE OBSERVATIONS. ANY PORTION OF THE SITE IMPROVEMENTS BACKFILLED PRIOR TO OBSERVATION BY ENGINEER AND TOWN SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE.

CIVIL ENGINEERING DRAWINGS

SHEET No.	TITLE	SHEET No.	TITLE
SP-1	COVER SHEET	SP-8	CONSTRUCTION DETAILS
SP-2	ALIGNMENT PLAN	SP-9	DRAINAGE & UTILITIES DETAILS
SP-3	DEMO & EROSION CONTROL PLAN	SP-10	SANITARY & WATER DISTRIBUTION DETAILS
SP-4	GRADING & DRAINAGE PLAN		
SP-5	UTILITY PLAN	SP-11	DEMO & EROSION CONTROL DETAILS
SP-6	PHOTOMETRIC PLAN		
SP-7	LANDSCAPE PLAN		

MUNICIPALITY CONTACTS

TELEPHONE	VERIZON	ROADS	NEW YORK STATE DEPARTMENT OF TRANSPORTATION
	2030 JONES AVENUE WANTAGH, NY 11793		STATE OFFICE BUILDING 350 VETERANS MEMORIAL HIGHWAY HAUPPAUGE, NY 11788
	PHONE (516) 783-2315		PHONE (631) 952-6926
WATER	MANHASSET LAKEVILLE 170 E. SHORE ROAD GREAT NECK, NY 11023	SITE PLAN	TOWN OF NORTH HEMPSTEAD BUILDING DEPARTMENT 220 PLANDOME ROAD MANHASSET, NY 11030
	PHONE (516) 466-4416		PHONE (516) 869-6311
GAS	NATIONAL GRID 175 EAST OLD COUNTRY ROAD HICKSVILLE, NY 11801	APPLICANT	LEXUS OF SMITHTOWN 700 E. JERICHO TURNPIKE ST. JAMES, NEW YORK 11780
	PHONE 1-800-GAS-2001		PHONE (631) 652-9118
ELECTRIC	PSEG LONG ISLAND 175 EAST OLD COUNTRY ROAD HICKSVILLE, NY 11801		
	PHONE: (631) 545-2224		
SANITARY	GREAT NECK SEWER DISTRICT 236 E. SHORE ROAD GREAT NECK, NY 11023		
	PHONE (516) 482-0238		

LEGEND

	DEMOLITION CONTOURS		PROP SPOT ELEVATION
	EXISTING CONTOURS		PROP FENCE
	PROPOSED CONTOURS		PROP SIGN
	PROPOSED CURB		PROP LEACHING POOL
	EXIST CURB		PROP LEACHING POOL W/OPEN GRATE
	EXIST CURB (TO BE REMOVED)		PROP LEACHING POOL W/SOLID COVER
	EXIST SANITARY SEWER		PROP DRAINAGE MANHOLE
	EXIST WATER MAIN		TOP OF CURB
	EXIST UNDERGROUND ELECTRIC		BOTTOM OF CURB
	EXIST TELEPHONE LINE		DRAINAGE LEACHING POOL
	EXIST GAS MAIN		PAVEMENT/CONCRETE
	EXIST DRAIN MANHOLE (SOLID COVER)		DRAIN FLOW ARROW
	EXIST DRAIN MANHOLE (OPEN GRATE)		PROP DOUBLE YELLOW STRIPPING
	EXIST SPOT ELEVATION		EXIST R.O.W.
	EXIST HYDRANT		EXIST DOUBLE YELLOW STRIPPING
	EXIST FENCE		PROP CONCRETE SIDEWALK
	EXIST GUIDE RAIL		PROP STANDARD DUTY ASPHALT
	EXIST CATCH BASIN		
	EXIST UTILITY POLE		
	EXIST UTILITY POLE W/LIGHT		
	EXIST SANITARY SEWER		
	PROP DRAIN LINE		
	PROP WATER SERVICE		
	PROP ROOF DRAIN		
	PROP UNDERGROUND ELECTRIC		
	PROP COMMUNICATIONS SERVICE		
	PROP GAS SERVICE		
	EXISTING OFF-SITE STREET LIGHT		
	PROP TRANSFORMER		
	PROP CATCH BASIN		

TOWN APPLICATION No.: CPB22-000186

No.	REVISION DESCRIPTION	DATE	BY
4	GENERAL REVISIONS	10/26/22	GT
3	REV PER CIVIC ORG COM	10/20/22	GM
2	REV PER TOWN COM	09/03/22	GM
1	GENERAL REVISIONS	07/21/22	GM

OWNER:
LEXUS OF SMITHTOWN
700 E. JERICHO TURNPIKE
ST. JAMES, NEW YORK 11780

APPLICANT:
LEXUS OF SMITHTOWN
700 E. JERICHO TURNPIKE
ST. JAMES, NEW YORK 11780

Christopher W. Robinson, P.E.
NY State License No. 667519

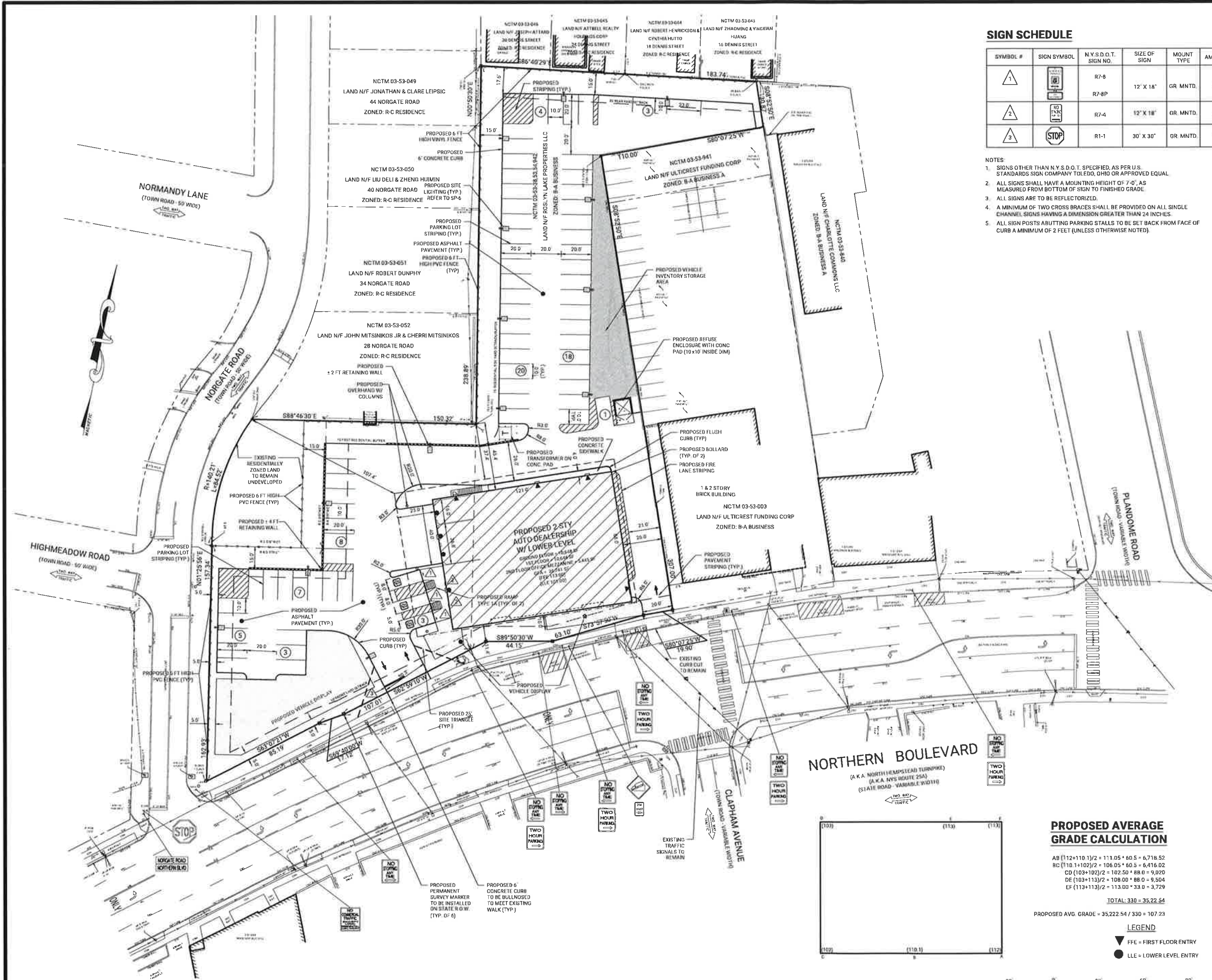
COVER SHEET

1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942

Robinson & Muller
Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-0576
Fax: (631) 271-0592
www.rengineering.com

OWN BY:	GM	CHKD BY:	GT	SCALE:	N.T.S.	SHEET:	SP-1
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196		



SIGN SCHEDULE

SYMBOL #	SIGN SYMBOL	N.Y.S.D.O.T. SIGN NO.	SIZE OF SIGN	MOUNT TYPE	AMOUNT
1	[Symbol]	R7-8	12' X 18'	GR. MNTD.	3
2	[Symbol]	R7-4	12' X 18'	GR. MNTD.	2
3	[Symbol]	R1-1	30' X 30'	GR. MNTD.	1

- NOTES:
- SIGNS OTHER THAN N.Y.S.D.O.T. SPECIFIED, AS PER U.S. STANDARDS SIGN COMPANY TOLLEDO, OHIO OR APPROVED EQUAL.
 - ALL SIGNS SHALL HAVE A MOUNTING HEIGHT OF 7'-0", AS MEASURED FROM BOTTOM OF SIGN TO FINISHED GRADE.
 - ALL SIGNS ARE TO BE REFLECTORIZED.
 - A MINIMUM OF TWO CROSS BRACES SHALL BE PROVIDED ON ALL SINGLE CHANNEL SIGNS HAVING A DIMENSION GREATER THAN 24 INCHES.
 - ALL SIGN POSTS ABUTTING PARKING STALLS TO BE SET BACK FROM FACE OF CURB A MINIMUM OF 2 FEET (UNLESS OTHERWISE NOTED).

SITE DATA

NCTM
 EXISTING ZONE: BUSINESS A DISTRICT (B-A)
 TOTAL LOT AREA: 77,327 S.F. (1.78 AC)
 EXISTING BUILDING COVERAGE: 8,775 SF
 PROPOSED BUILDING COVERAGE: 10,648 SF
 EXISTING USE: FUNERAL HOME
 PROPOSED USE: AUTO DEALERSHIP (V1)
 SCHOOL DISTRICT: MANHASSET UFSD
 POST OFFICE DISTRICT: UNITED STATES POSTAL SERVICE 11590
 FIRE DISTRICT: MANHASSET-LAKEVILLE
 SEWER DISTRICT: GREAT NECK SEWER DISTRICT
 WATER DISTRICT: MANHASSET-LAKEVILLE WD

ZONING COMPLIANCE TABLE:

(B-A DISTRICT)	CODE	PROPOSED
§70-130(A)	MAX BUILDING HEIGHT (STORIES)	3 STY
§70-130(A)	MAX BUILDING HEIGHT (FEET)	40'
§70-131	MAX LOT COVERAGE	7%
§70-131.1(A)	FLOOR AREA	N/A
§70-132(A)	FRONT YARD SETBACK	10'
§70-133	SIDE YARD SETBACK (WHEN ADJACENT RESIDENTIAL DIST.)	0'
§70-134	REAR YARD SETBACK	20'

PARKING CALCULATIONS

PARKING REQUIRED

AUTO DEALERSHIP	1 STALL PER 300 SF	
(NO SERVICE)	21,296 SF X 1 STALL / 300 SF	= 71 STALLS
OFFICE MEZZANINE	(5,445 SF - 1,000 SF) X 1 STALL / 200 SF	= 23 STALLS
TOTAL STALLS REQUIRED		= 94 STALLS

PARKING PROVIDED

PAVED PARKING STALLS (10' X 20')	= 72 STALLS
TOTAL STALLS PROVIDED (INCL. 3 ACCESSIBLE STALLS)	= 72 STALLS (V2)(V3)

ZONING RELIEF

- (V1) §70-126D CONDITIONAL USE PERMIT REQUIRED FOR PARKING, STORAGE & SALE OF AUTOMOBILES
- (V2) §70-103M PARKING IN REQUIRED FRONT YARD
- (V3) §70-103A(1) PARKING RELAXATION FOR 22 STALLS (23.4%)

LOT COVERAGE TABLE

PROPOSED

BUILDING:	10,648 SF (13.77%)
IMPERVIOUS SURFACES:	47,318 SF (61.19%)
LANDSCAPE AREA:	19,361 SF (25.04%)
100% FERTILIZED & IRRIGATED	
TOTAL AREA:	77,327 SF (100.00%)

LOT COVERAGE TABLE

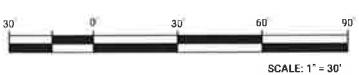
EXISTING

BUILDING:	8,875 SF (11.48%)
IMPERVIOUS SURFACES:	50,239 SF (64.97%)
GRASS AREA:	18,213 SF (23.55%)
100% NON-FERTILIZED & NON-IRRIGATED	
TOTAL AREA:	77,327 SF (100.00%)

PROPOSED AVERAGE GRADE CALCULATION

AB (112+110) / 2 = 111.05 * 60.5 = 6,718.52
 BC (110+102) / 2 = 106.05 * 60.5 = 6,416.02
 CD (103+102) / 2 = 102.50 * 88.0 = 9,020
 DE (103+113) / 2 = 108.00 * 88.0 = 9,504
 EF (113+113) / 2 = 113.00 * 33.0 = 3,729
 TOTAL: 330 = 35,225.54
 PROPOSED AVG. GRADE = 35,225.54 / 330 = 107.23

- LEGEND**
- ▼ FFE = FIRST FLOOR ENTRY
 - LLE = LOWER LEVEL ENTRY



TOWN APPLICATION No. CPB22-000185

4	GENERAL REVISIONS	10/26/22	DT
3	REV PER CIVIC ORG COM	10/20/22	GM
2	REV PER TOWN COM	08/03/22	GM
1	GENERAL REVISIONS	07/27/22	GM

OWNER:
 LEVIN OF SOUTHWEST
 200 E. HEMPHSTEAD TURNPIKE
 ST. JAMES, NEW YORK 11780

APPLICANT:
 LEVIN OF SOUTHWEST
 200 E. HEMPHSTEAD TURNPIKE
 ST. JAMES, NEW YORK 11780



Christopher W. Robinson, P.E.
 NY State License No. 067519

ALIGNMENT PLAN

1285 NORTHERN BOULEVARD
 SITUATED IN
MANHASSET
 TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

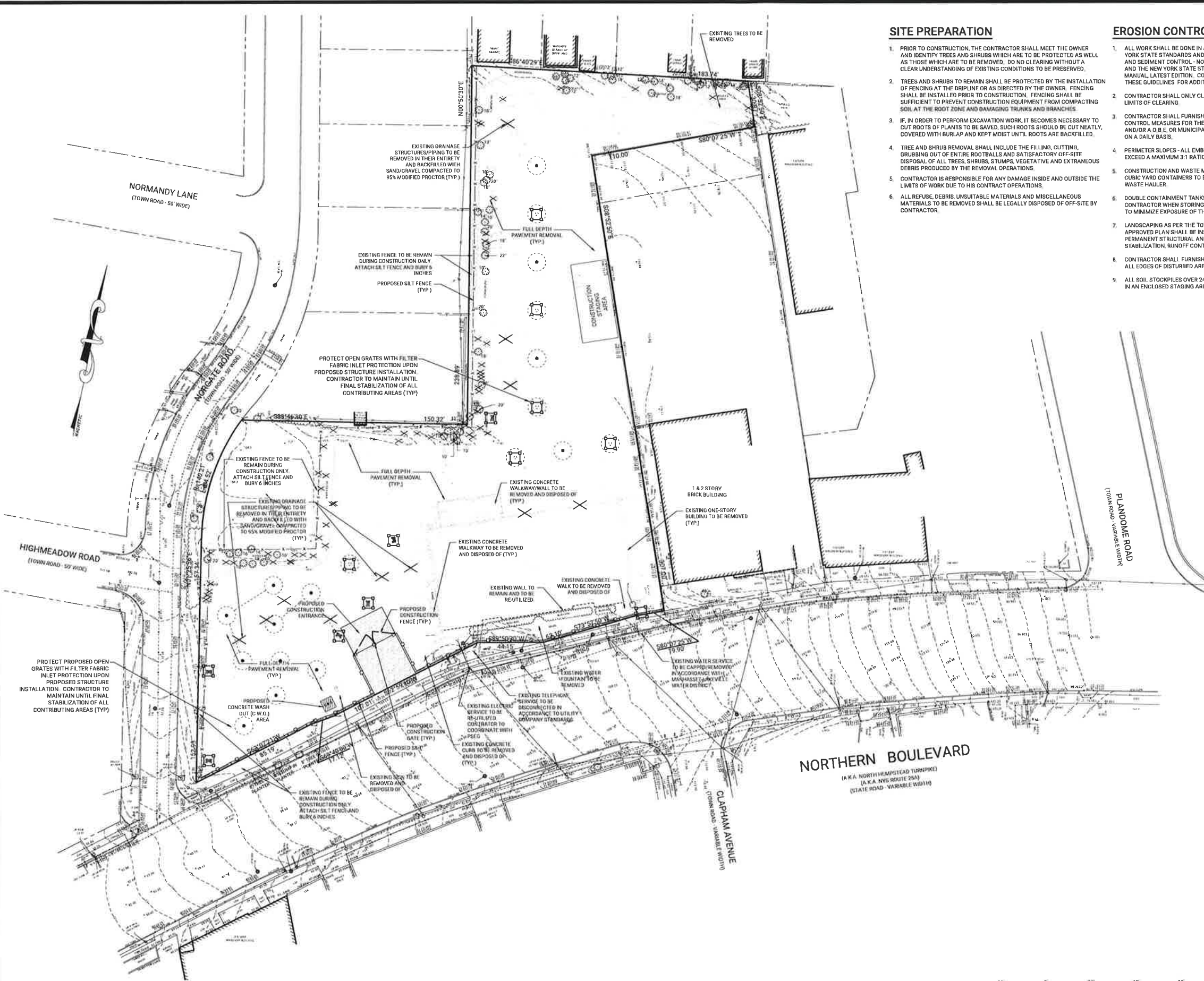
NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942



DWN BY:	GM	CHK'D BY:	GT	SCALE:	1" = 30'	SHEET:	SP-2
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196		

Drawing Name: P:\2021 Projects\2021-196\2021-196.dwg Plot Date: 05/05/22 - 1:45pm Plotter on: Oct 27, 2022 - 1:56pm by jromano

SURVEY NOTE:
 SITE PLAN BASED UPON SURVEY PREPARED BY GALLAS
 SURVEYING GROUP, DATED DECEMBER 23, 2011



SURVEY NOTE:
 SITE PLAN BASED UPON SURVEY PREPARED BY GALLAS SURVEYING GROUP, DATED DECEMBER 23, 2021.

SITE PREPARATION

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MEET THE OWNER AND IDENTIFY TREES AND SHRUBS WHICH ARE TO BE PROTECTED AS THOSE WHICH ARE TO BE REMOVED. DO NO CLEARING WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
- TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED BY THE INSTALLATION OF FENCING AT THE DRIPLINE OR AS DIRECTED BY THE OWNER. FENCING SHALL BE INSTALLED PRIOR TO CONSTRUCTION. FENCING SHALL BE SUFFICIENT TO PREVENT CONSTRUCTION EQUIPMENT FROM COMPACTING SOIL AT THE ROOT ZONE AND DAMAGING TRUNKS AND BRANCHES.
- IF, IN ORDER TO PERFORM EXCAVATION WORK, IT BECOMES NECESSARY TO CUT ROOTS OF PLANTS TO BE SAVED, SUCH ROOTS SHOULD BE CUT NEATLY, COVERED WITH BURLAP AND KEPT MOIST UNTIL ROOTS ARE BACK FILLED.
- TREE AND SHRUB REMOVAL SHALL INCLUDE THE FILLING, CUTTING, GRUBBING OUT OF ENTIRE ROOTBALLS AND SATISFACTORY OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS, VEGETATIVE AND EXTRANEOUS DEBRIS PRODUCED BY THE REMOVAL OPERATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE LIMITS OF WORK DUE TO HIS CONTRACT OPERATIONS.
- ALL REFUSE, DEBRIS, UNSUITABLE MATERIALS AND MISCELLANEOUS MATERIALS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.

EROSION CONTROL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL - NOVEMBER 2016 A.K.A. BLUE BOOK AND THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, LATEST EDITION. CONTRACTOR SHALL REFER TO THESE GUIDELINES FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL ONLY CLEAR AND GRUB AREAS WITHIN THE LIMITS OF CLEARING.
- CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT AND/OR A D.E. OR MUNICIPAL AGENCY HAVING JURISDICTION ON A DAILY BASIS.
- PERIMETER SLOPES - ALL EMBANKMENT SIDE SLOPS SHALL NOT EXCEED A MAXIMUM 3:1 RATIO.
- CONSTRUCTION AND WASTE MATERIALS SHALL BE STORED IN 5 CUBIC YARD CONTAINERS TO BE CARTED OFF-SITE BY A LICENSED WASTE HAULER.
- DOUBLE CONTAINMENT TANKS SHALL BE UTILIZED BY THE CONTRACTOR WHEN STORING POTENTIAL POLLUTANTS ON-SITE TO MINIMIZE EXPOSURE OF THESE MATERIALS TO STORM WATER.
- LANDSCAPING AS PER THE TOWN OF NORTH HEMPSTEAD APPROVED PLAN SHALL BE INSTALLED AND MAINTAINED AS A PERMANENT STRUCTURAL AND VEGETATIVE MEASURE FOR SOIL STABILIZATION, RUNOFF CONTROL AND SEDIMENT CONTROL.
- CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCE ALONG ALL EDGES OF DISTURBED AREAS.
- ALL SOIL STOCKPILES OVER 24" IN HEIGHT SHALL BE MAINTAINED IN AN ENCLOSED STAGING AREA.

DEMOLITION NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR ENGAGED IN EXCAVATION OR DEMOLITION SHALL PROVIDE SUPPORT TO AND PREVENT DAMAGE TO ANY UNDERGROUND UTILITY. IN THE EVENT OF DAMAGE TO AN UNDERGROUND UTILITY, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OPERATOR OF THE UTILITY AND NO BACK FILLING SHALL BE DONE BY THE CONTRACTOR UNTIL REPAIRS ARE MADE AND/OR WRITTEN APPROVAL BY THE UTILITY OPERATOR.
- CONTRACTOR SHALL NOT USE POWER EXCAVATING EQUIPMENT CLOSER THAN 6 INCHES IN ANY DIRECTION FROM STAKED, MARKED OR OTHERWISE DESIGNATED PERIMETER OF ANY UNDERGROUND UTILITY.
- EXCEPTION: POWERED OR MECHANIZED EQUIPMENT MAY BE USED FOR THE REMOVAL OF PAVEMENT OR MASONRY BUT ONLY TO THE DEPTH OF SUCH PAVEMENT OR MASONRY.
- ALL EXISTING ON SITE DRAIN PIPES, CATCH BASINS, MANHOLES, DRAINAGE INLETS OR LEACHING POOLS THAT ARE LOCATED WITHIN THE PROPOSED BUILDING AREAS, SHALL BE REMOVED AND BACK FILLED. FILL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY MODIFIED PROCTOR TEST AND BE SELECT GRANULAR MATERIAL.
- ALL EXISTING ON SITE LIGHT FIXTURES, POLES AND FOUNDATIONS SHALL BE REMOVED, UNLESS OTHERWISE NOTED ON PLAN OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL EXISTING ON SITE CATCH BASINS, MANHOLES, DRAIN INLETS, LEACHING POOLS OR SANITARY STRUCTURES THAT ARE LOCATED OUTSIDE THE PROPOSED BUILDING AREA AND ARE NOTED TO BE REMOVED SHALL BE PUMPED, CLEANED AND BACK FILLED WITH A LEAN CONCRETE MIXTURE OR AS DIRECTED BY ENGINEER OR GEOTECHNICAL REPRESENTATIVE. ANY EXISTING STRUCTURES THAT ARE IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE ENTIRELY REMOVED AND DISPOSED OF.
- EXISTING BUILDING INCLUDING FOUNDATIONS AND FLOOR SLABS, LOADING DOCKS, RAMPS, RETAINING WALLS AND CONCRETE SLABS SHALL BE COMPLETELY REMOVED AND ALL VOIDS BACK FILLED WITH CLEAN OR GRANULAR MATERIAL AS SPECIFIED.
- ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED OR ABANDONED UNLESS OTHERWISE NOTED.
- PRIOR TO ANY DEMOLITION CONTRACTOR SHALL SUBMIT DEMOLITION SEQUENCING PLAN TO OWNER FOR APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL FEES AND OBTAINING ALL PERMITS ASSOCIATED WITH THE DEMOLITION WORK INCLUDING BUT NOT LIMITED TO THE UTILITY DISCONNECT PERMITS AND THE DEMOLITION PERMIT.

TOWN APPLICATION No.: CPB22-000186

No.	REVISION DESCRIPTION	DATE	BY
4	GENERAL REVISIONS	10/26/22	GT
3	REV PER CIVIC ORG COM	10/20/22	GM
2	REV PER TOWN COM	08/03/22	GM
1	GENERAL REVISIONS	07/21/22	GM

OWNER:
 LEGOS OF SMITHDEN
 700 C. JERCHOW TURNPIKE
 ST. JAMES, NEW YORK 11780

APPLICANT:
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DEMO & EROSION CONTROL PLAN

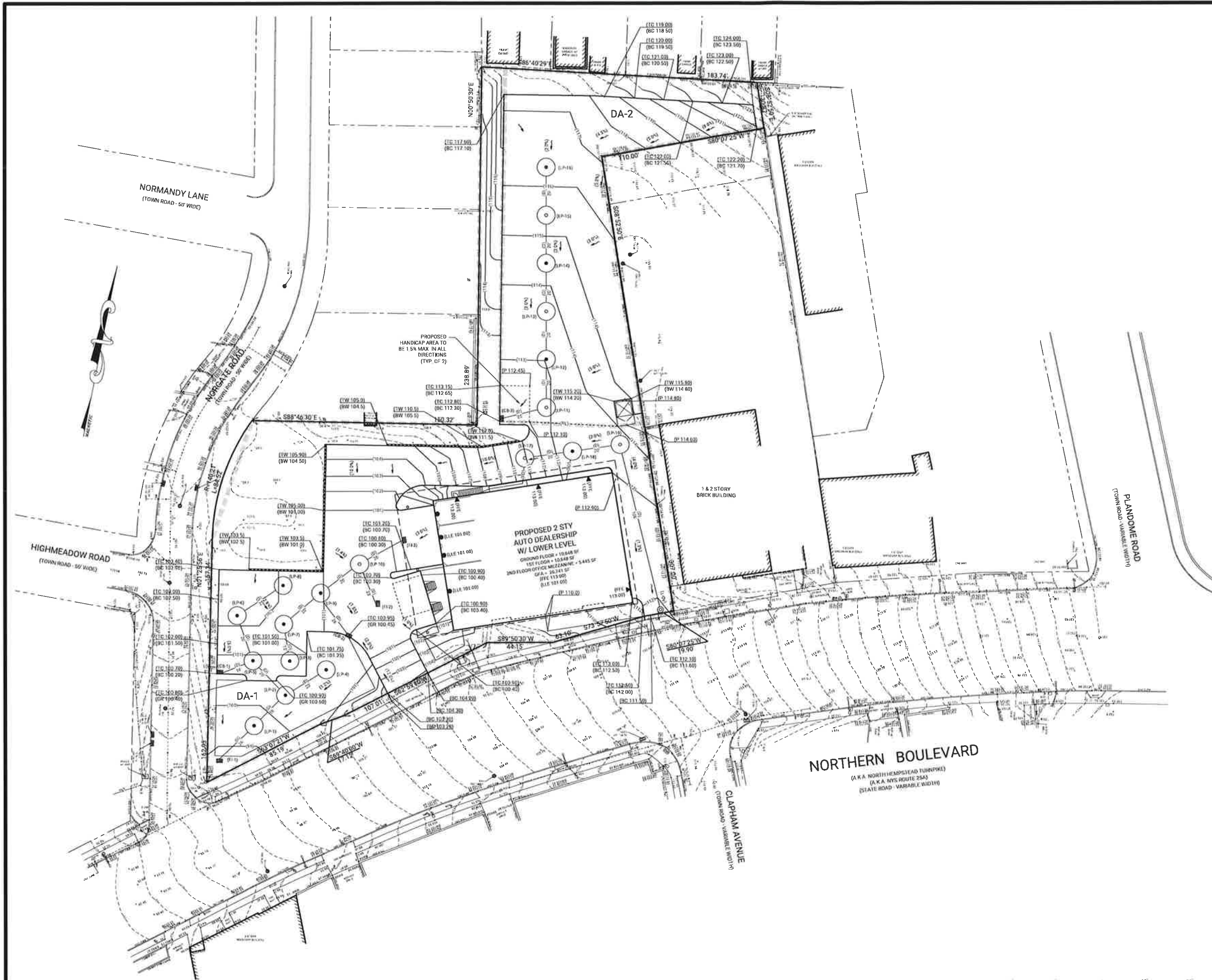
1285 NORTHERN BOULEVARD
 SITUATED IN
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NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942

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 Huntington, NY 11743
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 www.rmandm.com



DWN BY:	GM	CHKD BY:	GT	SCALE:	1"=30'	SHEET:	SP-3
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196		



DRAINAGE CALCULATIONS

DRAINAGE AREA 1

REQUIRED			
BUILDING AREA	0 SF X 0.42 FT X 1.0	=	0 CF
IMPERVIOUS AREA	28,752 SF X 0.42 FT X 1.0	=	12,076 CF
LANDSCAPE AREA	17,219 SF X 0.42 FT X 0.25	=	1,807 CF
TOTAL VOLUME REQUIRED		=	13,883 CF

PROVIDED

PROVIDED (10) - 12" DIA X 15 FT EFFECTIVE DEPTH LEACHING POOLS			
10 EA X 100.9 CF/FT X 15 FT ED	=		15,135 CF
TOTAL VOLUME PROVIDED IN LEACHING POOLS		=	15,135 CF

DRAINAGE AREA 2

REQUIRED			
BUILDING AREA	0 SF X 0.42 FT X 1.0	=	0 CF
IMPERVIOUS AREA	18,420 SF X 0.42 FT X 1.0	=	8,092 CF
LANDSCAPE AREA	2,695 SF X 0.42 FT X 0.25	=	283 CF
TOTAL VOLUME REQUIRED		=	8,375 CF

PROVIDED

PROVIDED (6) - 12" DIA X 15 FT EFFECTIVE DEPTH LEACHING POOLS			
6 EA X 100.9 CF/FT X 15 FT ED	=		9,081 CF
TOTAL VOLUME PROVIDED IN LEACHING POOLS		=	9,081 CF

ROOF DRAIN SYSTEM

REQUIRED			
BUILDING AREA	10,548 SF X 0.42 FT X 1.0	=	4,472 CF
IMPERVIOUS AREA	0 SF X 0.42 FT X 1.0	=	0 CF
LANDSCAPE AREA	0 SF X 0.42 FT X 0.25	=	0 CF
TOTAL VOLUME REQUIRED		=	4,472 CF

PROVIDED

PROVIDED (3) - 12" DIA X 15 FT EFFECTIVE DEPTH LEACHING POOLS			
3 EA X 100.9 CF/FT X 15 FT ED	=		4,540 CF
TOTAL VOLUME PROVIDED IN LEACHING POOLS		=	4,540 CF

DRAINAGE STRUCTURE TABLE

STRUCTURE	SIZE	TOP / GRATE	INVERT	BOT ELEV.	EFF. DEPTH
DRP-1	12"	99.50	95.30	80.3	15 FT
DRP-2	12"	100.20	96.00	80.3	15 FT
DRP-3	12"	101.40	96.20	80.3	15 FT
DRP-4	12"	100.65	96.60	80.3	15 FT
DRP-5	12"	101.20	97.20	80.3	15 FT
DRP-6	12"	102.25	98.00	80.3	15 FT
DRP-7	12"	101.35	97.40	80.3	15 FT
DRP-8	12"	101.90	98.60	80.3	15 FT
DRP-9	12"	101.10	97.80	80.3	15 FT
DRP-10	12"	100.50	96.80	80.3	15 FT
DRP-11	12"	112.65	107.85	91.6	15 FT
DRP-12	12"	113.00	107.65	91.6	15 FT
DRP-13	12"	113.67	107.85	91.6	15 FT
DRP-14	12"	114.50	107.65	91.6	15 FT
DRP-15	12"	118.4	107.95	91.6	15 FT
DRP-16	12"	116.4	107.65	91.6	15 FT
DRP-17	12"	111.8	106.6	91.6	15 FT
DRP-18	12"	113.33	106.6	91.6	15 FT
DRP-19	12"	116.85	106.8	91.6	15 FT
CS-1		100.2	97.7		
CS-2		100.80	97.8		
CS-3		112.30	109.30		
FE-1		99.90	95.50		
FE-2		100.10	97.10		
FE-3		100.25	97.25		
AD-1		111.40	108.40		

TOWN APPLICATION No.: CPB22-000186

4	GENERAL REVISIONS	10/26/22	GT
3	REV PER CIVIC ENG DDM	10/20/22	GM
2	REV PER TONH COM	08/03/22	GM
1	GENERAL REVISIONS	07/27/22	GM

OWNER
LEWIS OF SMITHDOWN
700 E. ARCHD TURPKCT
ST. JAMES, NEW YORK 11780

APPLICANT
LEWIS OF SMITHDOWN
700 E. ARCHD TURPKCT
ST. JAMES, NEW YORK 11780

Christopher W. Robinson, P.E.
NY State License No. 067519

GRADING & DRAINAGE PLAN

1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

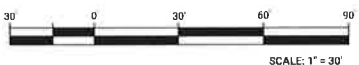
NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942

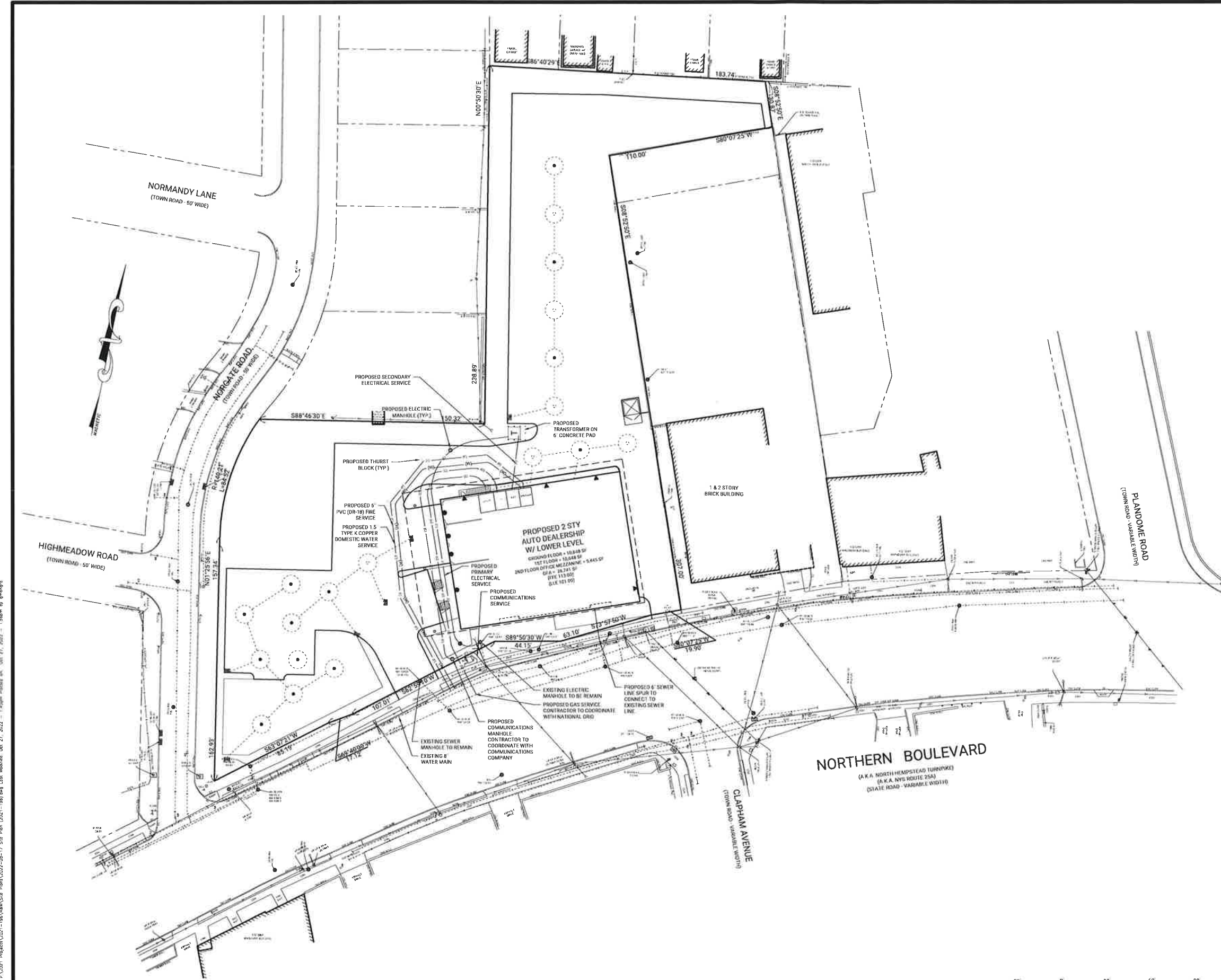
R&M ENGINEERING
Robinson & Muller
Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-0576
Fax: (631) 271-0592
www.rmengr.com

DATE: 04/29/22 **CHKD BY:** GT **SCALE:** 1"-30' **SHEET:** SP-4

Drawing Name: P:\2022 Projects\2022-18\N\MAN\Site Plans\2022-08-17 Site Plan (2021-10) P&L.dwg; Date: 04/29/22; 1:30pm; by: gromano

SURVEY NOTE:
SITE PLAN BASED UPON SURVEY PREPARED BY GALLAS SURVEYING GROUP, DATED DECEMBER 23, 2021





SANITARY NOTES

1. MINIMUM PIPE COVER AND PIPE PITCH REQUIREMENTS SHALL BE IN CONFORMANCE TO GREAT NECK WATER POLLUTION CONTROL DISTRICT STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS WITH THE HEALTH DEPARTMENT.
3. A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN NEW YORK STATE SHALL INSPECT THE EXCAVATION, CONSTRUCTION, AND BACKFILLING OPERATIONS FOR THE PRIVATE SEWAGE DISPOSAL FACILITIES. THE PROJECT CONSULTANT SHALL CERTIFY TO THE GREAT NECK WATER POLLUTION CONTROL DISTRICT NO LATER THAN 30 DAYS FOLLOWING THE COMPLETION OF CONSTRUCTION THAT THE SEWAGE DISPOSAL FACILITIES HAVE BEEN CONSTRUCTED IN FULL CONFORMANCE WITH THE APPROVED PLAN.
4. WATER MAIN PROTECTION - THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCE BETWEEN WATER MAIN/WATER SERVICE LINE AND SEWER PIPING AND/OR DRAINAGE PIPING SHALL BE 10.0 FEET AND 18 INCHES RESPECTIVELY.

ELECTRIC AND GAS NOTES

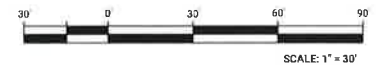
1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE LATEST RULES OF THE NATIONAL ELECTRICAL CODE, PSEG-LI RULES AND REGULATIONS AND GOVERNING LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL COMPLY WITH THE LAWS, RULES AND REGULATIONS OF THE STATE, MUNICIPAL AND DISTRICT DEPARTMENTS HAVING JURISDICTION. ALL ELECTRICAL EQUIPMENT BEING INSTALLED SHALL BE UL APPROVED AND LABELED, WHERE APPLICABLE.
3. UPON COMPLETION OF WORK AN UNDERWRITERS CERTIFICATE SHALL BE SUBMITTED.
4. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE CONCRETE TRANSFORMER PAD, AND IN ADDITION, THE SERVICE LATERALS AND THEIR COMPONENTS FROM THIS POINT TO THE SERVICE.
5. THE PRIMARY FACILITIES, INCLUDING THE DISTRIBUTION LINES AND PAD MOUNT TYPE TRANSFORMERS WILL BE SUPPLIED, INSTALLED, OWNED AND MAINTAINED BY PSEG-LI.
6. ALL NEW GAS MAINS SHALL BE PROVIDED, INSTALLED OWNED, AND MAINTAINED BY NATIONAL GRID.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES, AND THE MAINTENANCE AND PROTECTION OF ALL EXISTING UTILITIES TO REMAIN.

GENERAL UTILITY NOTES:

1. ALL DRAINAGE PIPES SHALL BE 15" DIAMETER CORRUGATED POLYETHYLENE PIPE (CPP)(ADS N-12, SOIL TIGHT PIPE) UNLESS OTHERWISE STATED.
2. REFER TO ARCHITECTURAL PLANS FOR DETAILED LOCATIONS OF ALL UTILITY CONNECTIONS.
3. ALL UTILITY CROSSINGS ARE TO HAVE A MINIMUM OF 18" OF CLEARANCE BETWEEN PIPES.
4. ALL DRAINAGE PIPES MUST HAVE A MINIMUM OF 2' OF COVER FROM THE TOP OF PIPE TO FINISHED GRADE.
5. ALL ROOF DRAINS (RD) SHALL BE PVC (DR-18) PITCHED @ 1.0% MIN. SIZE AS SPECIFIED PER PLANS.
6. PRIOR TO BOND RELEASE OR ISSUANCE OF CERTIFICATE OF OCCUPANCY A LETTER FROM THE ELECTRICIAN OR CONTRACTOR STATING THE LIGHTS HAVE BEEN ENERGIZED AND THE PROVISION OF AN UNDERWRITERS CERTIFICATE SHALL BE SUBMITTED TO THE ENGINEERING DIVISION.
7. ALL UTILITIES ARE TO BE INSTALLED/RELOCATED UNDERGROUND PER THE TOWN OF NORTH HEMPSTEAD.

Drawing Name: P:\2021 Projects\1285 Northern Boulevard\1285 Northern Boulevard.dwg
 Date: 01/27/2022 11:56am
 User: gregory
 Plot Date: 01/27/2022 11:56am
 Plot User: gregory

SURVEY NOTE:
 SITE PLAN BASED UPON SURVEY PREPARED BY GALLAS
 SURVEYING GROUP, DATED DECEMBER 23, 2021



TOWN APPLICATION No.: CP822-000186

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OWNER
 LEIKS OF NORTHEAST
 300 E. AVENUE TURNPIKE
 ST. JAMES, NEW YORK 11780

APPLICANT
 LEIKS OF NORTHEAST
 300 E. AVENUE TURNPIKE
 ST. JAMES, NEW YORK 11780



Christopher W. Robinson, P.E.
 NY State License No. 087519

OWN BY:	GM	CHK'D BY:	GT	SCALE:	1"=30'	SHEET:	SP-5
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196		

UTILITY PLAN

1285 NORTHERN BOULEVARD
 SITUATED IN
MANHASSET
 TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

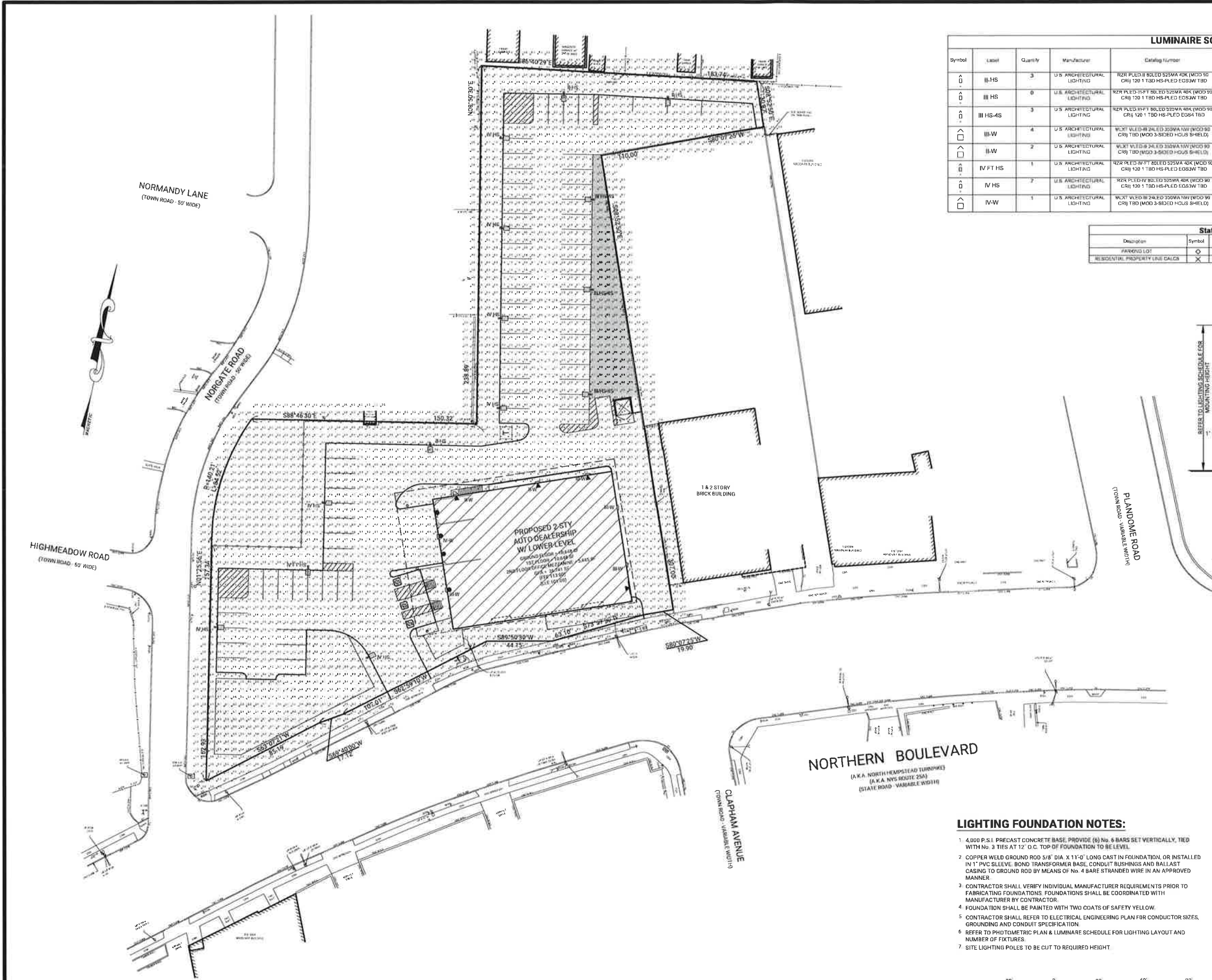
 NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942



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Drawing Name: P:\2021 Projects\2021-10\MANHASSET\Plan\2022-06-17 Site Plan (2021-10) Set Last Modified: Oct 27, 2022 - 4:48pm Modified: Oct 27, 2022 - 2:08pm by gromano

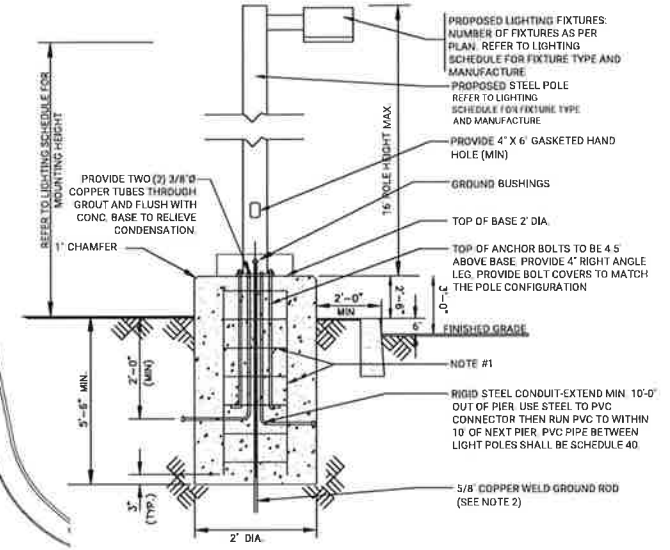
SURVEY NOTE:
SITE PLAN BASED UPON SURVEY PREPARED BY GALLAS SURVEYING GROUP, DATED DECEMBER 23, 2021



LUMINAIRE SCHEDULE							
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Wattage
⊙	II-HS	3	U.S. ARCHITECTURAL LIGHTING	RZR PLED 11' 0" LED 525MA 40K (MCD 90) CRJ 120 1 T8D HS-PLED EGS3W T8D	AREA LUMINAIRE, TYPE II DISTRIBUTION, FULL CUT-OFF, INTERNAL AND EXTERNAL HOUSE SIDE SHIELD	4000K LED 90 CRI	139
⊙	III HS	6	U.S. ARCHITECTURAL LIGHTING	RZR PLED 11' 0" LED 525MA 40K (MCD 90) CRJ 120 1 T8D HS-PLED EGS3W T8D	AREA LUMINAIRE, TYPE III DISTRIBUTION, FULL CUT-OFF, INTERNAL AND EXTERNAL HOUSE SIDE SHIELD	4000K LED 90 CRI	139
⊙	III HS-4S	3	U.S. ARCHITECTURAL LIGHTING	RZR PLED 11' 0" LED 525MA 40K (MCD 90) CRJ 120 1 T8D HS-PLED EGS4 T8D	AREA LUMINAIRE, TYPE III DISTRIBUTION, FULL CUT-OFF, INTERNAL AND EXTERNAL 4-SIDED HOUSE SIDE SHIELD	4000K LED 90 CRI	139
⊙	III-W	4	U.S. ARCHITECTURAL LIGHTING	WLX PLED 11' 0" LED 525MA 40K (MCD 90) CRJ T8D (MOD 3-SIDED HGUS SHIELD)	WALL LUMINAIRE, TYPE III DISTRIBUTION, FULL CUT-OFF, EXTERNAL HOUSE SIDE SHIELD	4000K LED 90 CRI	27
⊙	II-W	2	U.S. ARCHITECTURAL LIGHTING	WLX PLED 11' 0" LED 525MA 40K (MCD 90) CRJ T8D (MOD 3-SIDED HGUS SHIELD)	WALL LUMINAIRE, TYPE II DISTRIBUTION, FULL CUT-OFF, EXTERNAL HOUSE SIDE SHIELD	4000K LED 90 CRI	27
⊙	IV FT HS	1	U.S. ARCHITECTURAL LIGHTING	RZR PLED 11' 0" LED 525MA 40K (MCD 90) CRJ 120 1 T8D HS-PLED EGS3W T8D	AREA LUMINAIRE, TYPE IV DISTRIBUTION, FULL CUT-OFF, INTERNAL AND EXTERNAL HOUSE SIDE SHIELD	4000K LED 90 CRI	139
⊙	IV HS	7	U.S. ARCHITECTURAL LIGHTING	RZR PLED 11' 0" LED 525MA 40K (MCD 90) CRJ 120 1 T8D HS-PLED EGS3W T8D	AREA LUMINAIRE, TYPE IV DISTRIBUTION, FULL CUT-OFF, INTERNAL AND EXTERNAL HOUSE SIDE SHIELD	4000K LED 90 CRI	139
⊙	IV-W	1	U.S. ARCHITECTURAL LIGHTING	WLX PLED 11' 0" LED 525MA 40K (MCD 90) CRJ T8D (MOD 3-SIDED HGUS SHIELD)	WALL LUMINAIRE, TYPE IV DISTRIBUTION, FULL CUT-OFF, EXTERNAL HOUSE SIDE SHIELD	4000K LED 90 CRI	27

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	⊙	5.0%	13.9%	0.1%	139.9:1	500:1
RESIDENTIAL PROPERTY LINE CALCUS	⊗	0.5%	0.5%	0.5%	N/A	N/A

NOTES:
POLE MOUNT ARE 14 FEET AFF
WALL MOUNT ARE 8 FT AFF
BUILDING IS FIGURED 24FT HIGH, 10% REFLECTANCE
PARKING LOT IS FIGURED AT 5% REFLECTANCE
LIGHT LOSS FACTOR 0.9
CALCULATION POINTS ARE AT GRADE
CALCULATION POINTS ARE 5 FT O.C.



STANDARD 2'-6" HIGH LIGHTING FOUNDATION DETAIL
N.T.S.

- LIGHTING FOUNDATION NOTES:**
- 4,000 P.S.I. PRECAST CONCRETE BASE, PROVIDE (6) No. 6 BARS SET VERTICALLY, TIED WITH No. 3 TIES AT 12" O.C. TOP OF FOUNDATION TO BE LEVEL.
 - COPPER WELD GROUND ROD 5/8" DIA. X 11'-0" LONG CAST IN FOUNDATION OR INSTALLED IN 1" PVC SLEEVE, BOND TRANSFORMER BASE, CONDUIT BUSHINGS AND BALLAST CASING TO GROUND ROD BY MEANS OF No. 4 BARE STRANDED WIRE IN AN APPROVED MANNER.
 - CONTRACTOR SHALL VERIFY INDIVIDUAL MANUFACTURER REQUIREMENTS PRIOR TO FABRICATING FOUNDATIONS. FOUNDATIONS SHALL BE COORDINATED WITH MANUFACTURER BY CONTRACTOR.
 - FOUNDATION SHALL BE PAINTED WITH TWO COATS OF SAFETY YELLOW.
 - CONTRACTOR SHALL REFER TO ELECTRICAL ENGINEERING PLAN FOR CONDUCTOR SIZES, GROUNDING AND CONDUIT SPECIFICATION.
 - REFER TO PHOTOMETRIC PLAN & LUMINAIRE SCHEDULE FOR LIGHTING LAYOUT AND NUMBER OF FIXTURES.
 - SITE LIGHTING POLES TO BE CUT TO REQUIRED HEIGHT.

TOWN APPLICATION No. - CPB22-000186

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OWNER:
LEKUS OF SMITHOWN
100 E. KENNY TURNPIKE
ST. JAMES, NEW YORK 11780

APPLICANT:
LEKUS OF SMITHOWN
100 E. KENNY TURNPIKE
ST. JAMES, NEW YORK 11780

Professional Engineer Seal:
Christopher W. Robinson, P.E.
NY State License No. 067519

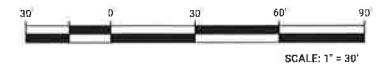
PHOTOMETRIC PLAN

1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

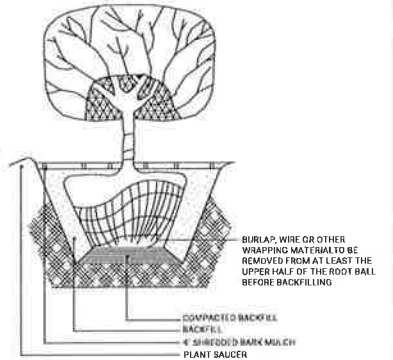
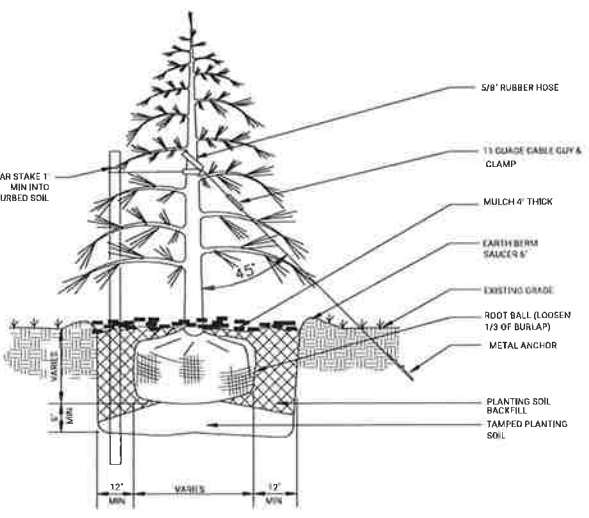
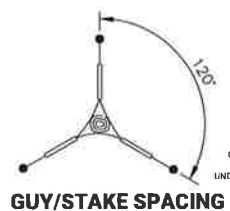
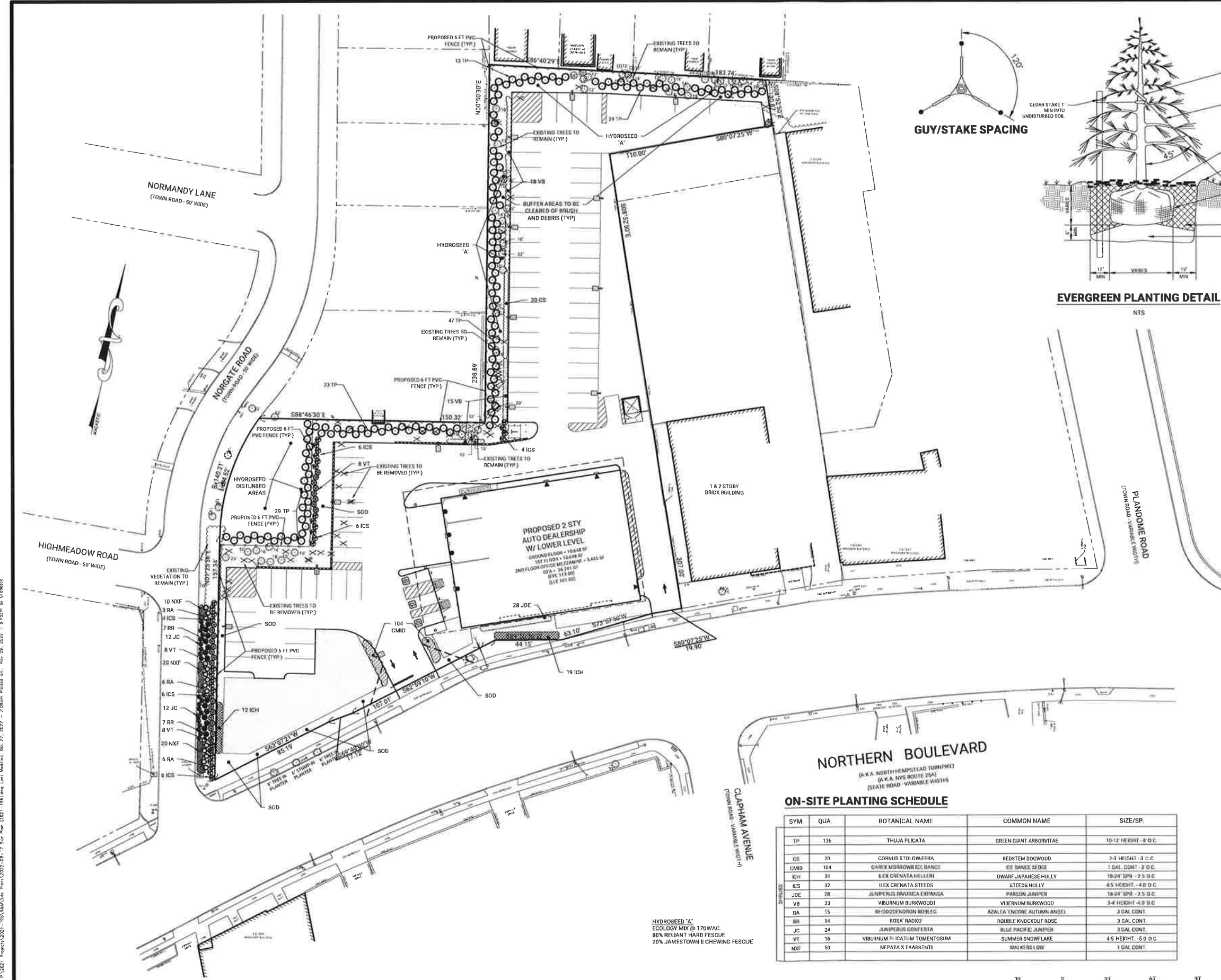
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DWN BY:	GM	CHKD BY:	GT	SCALE:	1"=30'	SHEET:	SP-6
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196		



SHRUB PLANTING DETAIL

MAINTENANCE NOTE:
ALL LANDSCAPING AS SHOWN ON THE APPROVED LANDSCAPE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH HEALTHY NEW PLANTS OF COMPARABLE SIZE, TYPE, AND QUALITY AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.

- NOTES:**
1. ALL PLANT MATERIAL GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY OWNER.
 2. ALL PLANTING BEDS TO BE MULCHED WITH 3"-4" OF SHREDDED BARK.
 3. ALL PLANTING BEDS TO RECEIVE 4" OF SCREENED TOPSOIL PRIOR TO PLANT INSTALLATION.
 4. NO PLANT MATERIAL, EXCEPT LAWN OR GROUNDCOVER, IS TO BE LOCATED WITHIN 2' OF ANY PARKING LOT CURBS.

ON-SITE PLANTING SCHEDULE

SYM	QUA	BOTANICAL NAME	COMMON NAME	SIZE/SP.
TP	136	THUJA PLICATA	GREEN GIANT ARBORVITAE	10-12' HEIGHT - 8" O.C.
CE	20	CORNUS STOLOIFERA	REDSTEM DOGWOOD	2-3' HEIGHT - 3" O.C.
CMID	104	CAREX MBROWNEI ICE DANCE	ICE DANCE SEDGE	1 GAL CONT. - 3" O.C.
ICH	31	ILEX CRENATA HELLERI	DWARF JAPANESE HOLLY	18-24" SPR. - 2.5" O.C.
ICS	32	ILEX CRENATA STEEDS	STEEDS HOLLY	45" HEIGHT - 40" O.C.
JDE	28	JUNIPERUS DIVURICA EXPANSA	PARSON JUNIPER	18-24" SPR. - 2.5" O.C.
VB	33	VIBURNUM BURKWOODI	VIBERNUM BURKWOOD	3-4' HEIGHT - 4" O.C.
RA	15	RHOISODENDRON NOBILE	AZALEA LINDORE AUTUMN ANGEL	3 GAL CONT.
RR	14	ROSA RADIX	DOUBLE KNOCKOUT ROSE	3 GAL CONT.
JC	24	JUNIPERUS CONFERTA	BILLY PACIFIC JUNIPER	3 GAL CONT.
VT	16	VIBURNUM PULCATUM TOMENTOSUM	SUMMER SNOWFLAKE	4-5' HEIGHT - 5" O.C.
NXF	50	NEPETA X FAASSENTI	WALKERS LOW	1 GAL CONT.

HYDROSEED 'A'
ECOLOGIX MIX @ 170 WAC
80% RELIANT HARD FESCUE
20% JAMESTOWN II CHEWING FESCUE

TOWN APPLICATION No.: CPB22-000166

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OWNER
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ST. JAMES, NEW YORK 11780

Christopher W. Robinson, P.E.
NY State License No. 667519

LANDSCAPE PLAN
1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

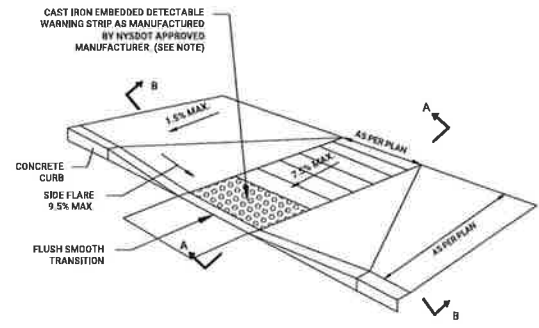
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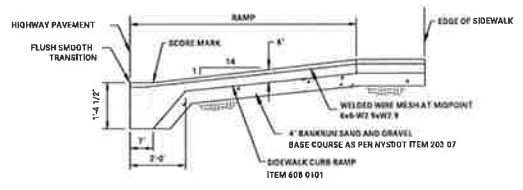
DWN BY: GM CHKD BY: GT SCALE: 1"=30' SHEET: SP-7
DATE: 04/29/22 DATE: 05/05/22 JOB No.: 2021-196

SURVEY NOTE:
SITE PLAN BASED UPON SURVEY PREPARED BY GALLAS SURVEYING GROUP, DATED DECEMBER 23, 2021

Drawing Name: P:\2021 Projects\2021-10\NAMA\Site Plan\2022-05-17_Site Plan (2021-196) - 1285 Northern Boulevard.dwg, Nov 29, 2022, 9:43am by: CTraverso

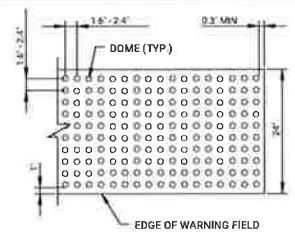


CURB RAMP TYPE 1



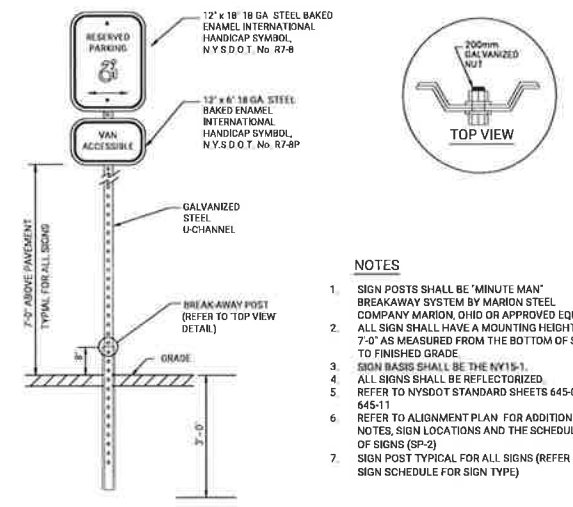
ON-SITE SIDEWALK CURB RAMP DETAIL

- THE MAXIMUM SLOPE OF A SIDEWALK CURB RAMP IN NEW CONSTRUCTION SHALL BE 1:14. IF SPACE LIMITATIONS ON EXISTING SITES PROHIBIT THE USE OF 1:14 THE FOLLOWING SLOPES AND RISES MAY BE USED:
 - STEEPER THAN 1:14 (7.14%) BUT NO STEEPER THAN 1:10 (10%) 6" MAX. RISE, 5' MAX. RUN
 - STEEPER THAN 1:10 (10%) BUT NO STEEPER THAN 1:8 (12.5%) 3" MAX. RISE, 2" MAX. RUN
 - A SLOPE STEEPER THAN 1:8 (12.5%) IS NOT ALLOWED
- THE MIN. WIDTH OF A SIDEWALK CURB RAMP SHALL BE FIVE (5) FEET, EXCLUSIVE OF FLARED SIDES.
- ALL SIDEWALK CURB RAMP SHALL HAVE FLUSH, SMOOTH TRANSITIONS TO THE ADJACENT STREET OR HIGHWAY SURFACE.
- THE SURFACE OF ALL SIDEWALK CURB RAMP SHALL BE STABLE, FIRM, AND SLIP RESISTANT. (E.G. A COARSE BROOM FINISH PERPENDICULAR TO THE RAMP. SLOPE IS ACCEPTABLE ON CEMENT CONCRETE CURB RAMP).
- EXISTING CONCRETE SHALL BE SAWCUT FULL DEPTH.
- ALL HANDICAP RAMP AND ACCESS WAYS SHALL BE IN COMPLIANCE WITH THE BUILDING CODE OF N.Y.S. AND ICC/ANSI A117.1-1998
- REFER TO NYSDOT STANDARD SHEETS 608-01 FOR FURTHER INFORMATION.
- THE DETECTABLE WARNINGS SHALL BE OBTAINED FROM THE NYSDOT APPROVED MATERIALS LIST. THEY SHALL BE DARK GREY IN COLOR WHEN INSTALLED IN LIGHT CONCRETE CURB RAMP AND BLENDED TRANSITIONS. NATURAL CAST IRON DETECTABLE WARNINGS MAY BE USED. MANUFACTURERS OF THESE PRODUCTS CAN BE FOUND AT THE NYSDOT APPROVED MATERIALS LISTS WEBSITE.



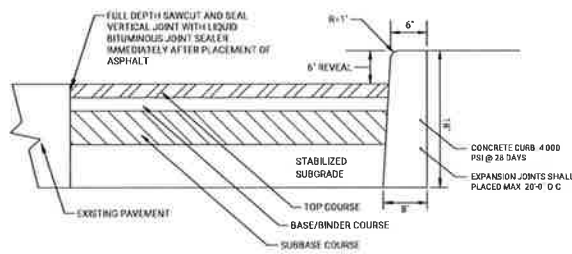
DETECTABLE WARNING STRIP

- NOTES:**
- THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24' IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE RAMP OR FLUSH SURFACE
 - THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
 - THE DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5' TO 9' FROM THE FRONT OF THE CURB OR ROADWAY EDGE (12' WHERE TRAVERSABLE CURB IS USED).
 - THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.



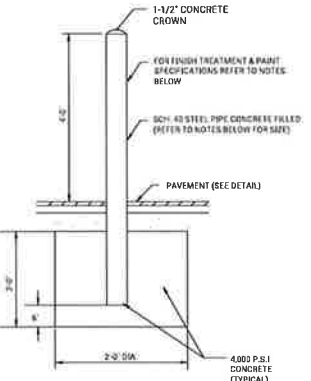
TYPICAL SIGN POST DETAIL

- NOTES:**
- SIGN POSTS SHALL BE "MINUTE MAN" BREAKAWAY SYSTEM BY MARION STEEL COMPANY MARION, OHIO OR APPROVED EQUAL. ALL SIGN SHALL HAVE A MOUNTING HEIGHT OF 7'-0" AS MEASURED FROM THE BOTTOM OF SIGN TO FINISHED GRADE.
 - SIGN BASIS SHALL BE THE NY 15.1.
 - ALL SIGNS SHALL BE REFLECTORIZED.
 - REFER TO ALIGNMENT PLAN FOR ADDITIONAL NOTES, SIGN LOCATIONS AND THE SCHEDULE OF SIGNS (SP-2)
 - SIGN POST TYPICAL FOR ALL SIGNS (REFER TO SIGN SCHEDULE FOR SIGN TYPE)



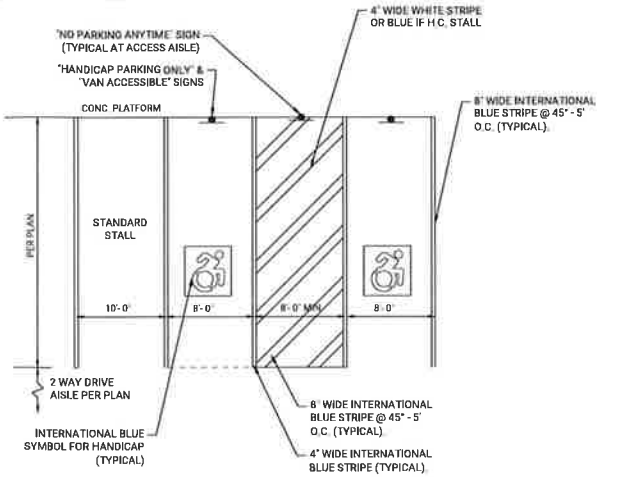
ON-SITE CURB, PAVEMENT & CONCRETE WALK DETAIL

- STANDARD DUTY PAVEMENT SECTION**
- TOP COURSE:**
1-1/2" FULLY COMPACTED ASPHALT
TOP COURSE NYSDOT TYPE 6
15% MAX. RAP
- BASE COURSE:**
1-1/2" FULLY COMPACTED
BASE COURSE NYSDOT TYPE 3
20% MAX. RAP
- SUBBASE COURSE:**
6" FULLY COMPACTED RCA
- NOTES:**
- ALL WORK SHALL CONFORM TO THE TOWN OF NORTH HEMPSTEAD SPECIFICATIONS
 - PROVIDE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINTS ALONG CURB AT 20' O.C. MIN., AT ALL CURB P.C.'S, P.T.'S AND AT BOTH ENDS OF CURB CUTS
 - PROVIDE 1/2" PREMOLDED BITUMINOUS EXPANSION JOINTS ALONG CONCRETE SIDEWALK AT 20' O.C. MIN., AT ALL INTERSECTIONS WITH OTHER WALKS AND CONCRETE HANDICAP RAMP
 - HANDICAP RAMP SHALL CONFORM TO THE LATEST N.Y.S. STANDARDS
 - ALL CONCRETE FOR CURB SHALL BE NASSAU COUNTY CLASS 'A'. ALL CONCRETE FOR SIDEWALKS SHALL BE NASSAU COUNTY CLASS 'B'.
 - CURB REVEAL SHALL BE 6" TYPICAL, UNLESS WHERE NOTED ON PLAN.
 - DAMAGED BASE AND BINDER COURSE SHALL BE REMOVED AND REPLACED PRIOR TO PLACEMENT OF TOP COURSE
 - SUBBASE MATERIAL SHALL BE PLACED AND SPREAD FROM AN APPROVED STOCKPILE. MATERIAL SHALL BE TESTED FROM THE STOCKPILE BY AN APPROVED SOIL TESTING LABORATORY PRIOR TO PLACEMENT.
 - THE SPECIFICATION FOR THE TOWN OF NORTH HEMPSTEAD, DENSE GRADED AGGREGATE BASE COURSE SHALL BE MODIFIED TO PERMIT MILLED ASPHALT AS AN ACCEPTABLE AGGREGATE. THE MODIFICATION SHALL NOT CAUSE A DEVIATION IN THE MECHANICAL GRADATION OF THIS ITEM
 - TOP COURSE (TYPE 6)-MAXIMUM 15% RECLAIMED ASPHALT PAVEMENT (RAP)
 - BINDER COURSE (TYPE 3)-MAXIMUM 20% RECLAIMED ASPHALT PAVEMENT (RAP)



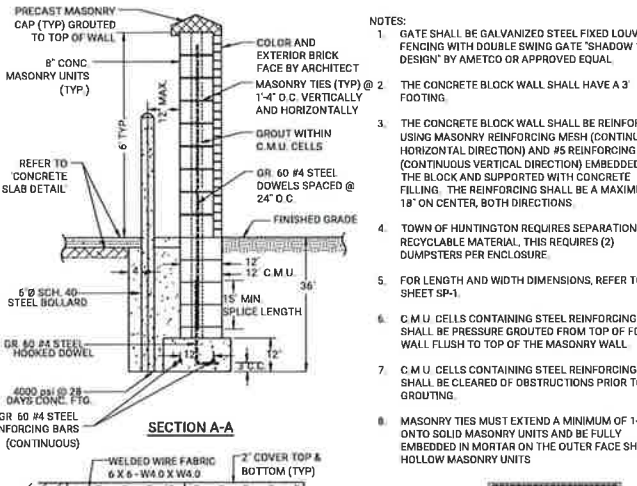
BOLLARD DETAIL

- NOTE:**
- CONCRETE SHALL BE CLASS "A" AND CONFORM TO SUFFOLK COUNTY REQUIREMENTS (3000 PSI MIN. @ 28 DAYS)
 - TRANSFORMER BOLLARDS-3" HEAVY WALL STEEL PER PSEG&G LONG ISLAND. PAINTED WITH PRIMER AND YELLOW PAINT (PAINT TO BE APPLIED IN TWO (2) COATS)
 - REFUSE ENCLOSURE BOLLARDS-4" STEEL SLEEVE WITH CONCRETE. PAINTED WITH ONE (1) COAT OF PRIMER & ONE (1) COAT OF FINISH PAINT (COLOR PER ARCHITECT PLANS)



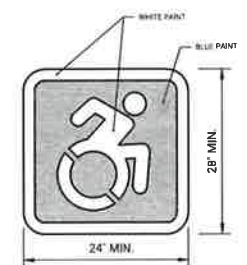
PARKING AREA STRIPING AND ALIGNMENT DETAIL

- NOTES:**
- HANDICAP PARKING STALLS AND ACCESS RAMP SHALL BE IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, 2010 STANDARDS, EFFECTIVE MARCH 15, 2011.
 - ALL PARKING LOT STRIPING TO BE SHERWIN-WILLIAMS 'SETFAST' ACRYLIC WATERBORNE TRAFFIC MARKING PAINT
 - WHITE (TM226) ON ASPHALT, YELLOW ON CONCRETE (TM225) OR AS INDICATED ON DRAWINGS.



REFUSE ENCLOSURE DETAIL

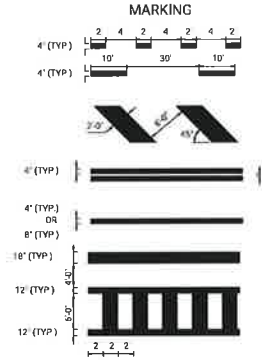
- NOTES:**
- PROVIDE 1/2" BITUMINOUS EXPANSION JOINT @ 36' O.C. AND CONTROL JOINTS SAWCUT @ 12' O.C.



HANDICAPPED PARKING SIGN DETAIL

- NOTE:**
- CONCRETE SHALL BE CLASS "A" AND CONFORM TO NASSAU COUNTY REQUIREMENTS (4000 PSI MIN. @ 28 DAYS)
 - CONTRACTOR TO INSTALL WITHIN BOLLARD WHERE SPECIFIED ON PLANS.

INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING



PAVEMENT MARKING LEGEND ON-SITE

- NOTES:**
- PAINT COLOR TO BE "YELLOW" FOR ARROW AND LETTERS "DRIVE-THRU" LETTERS TO BE ELONGATED HELEVETICA MEDIUM - 4" WIDE STROKES
 - PAINT 2" BLACK OUTLINE AROUND ARROW AND LETTERS FOR PROJECTS WITH CONCRETE PARKING LOTS

TOWN APPLICATION No.: CPB22-000186

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2	NO CHANGES THIS SHEET	08/03/22	GM
1	GENERAL REVISIONS	07/11/22	GM

OWNER:
LEIUS OF SOUTHTON
700 E. JERICO TURNPIKE
ST. JAMES, NEW YORK 11780

APPLICANT:
LEIUS OF SOUTHTON
700 E. JERICO TURNPIKE
ST. JAMES, NEW YORK 11780

Christopher W. Robinson, P.E.
NY State License No. 067519

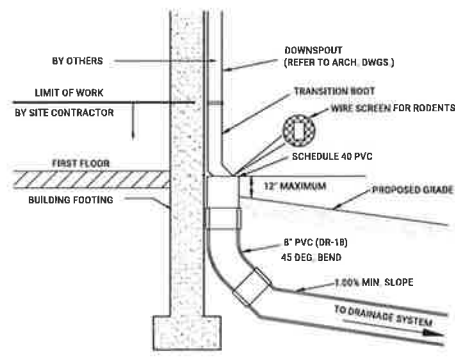
CONSTRUCTION DETAILS

1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942

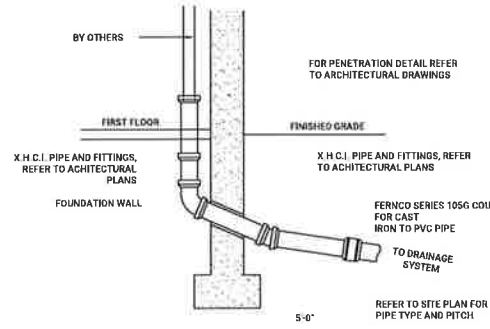
Robinson & Muller
Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-0576
Fax: (631) 271-0592
www.rmengineering.com

DWN BY:	GM	CHKD BY:	GT	SCALE:	NTS	SHEET:
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196	SP-8

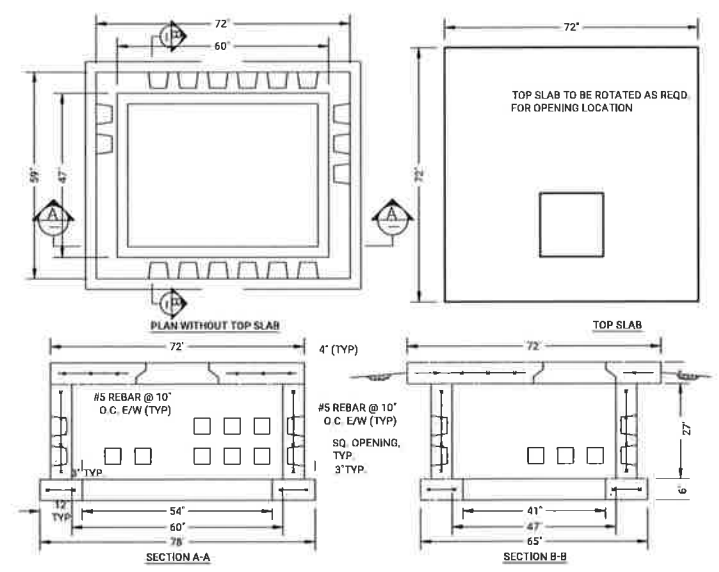


DOWNSPOUT CONNECTION DETAIL

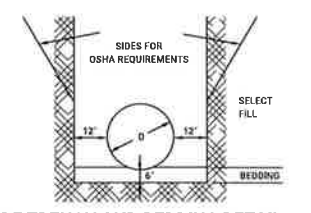
CONTRACTOR SHALL COORDINATE DOWNSPOUT SIZE, EXACT LOCATION WITH ARCHITECTS PLANS.



ROOF DRAIN CONNECTION DETAIL

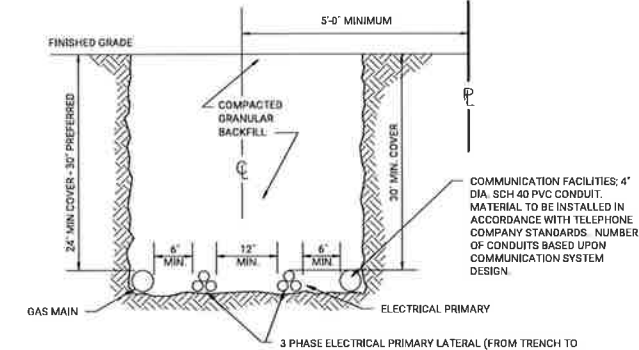


LIPA/PSE&G 3-PHASE TRANSFORMER DETAIL

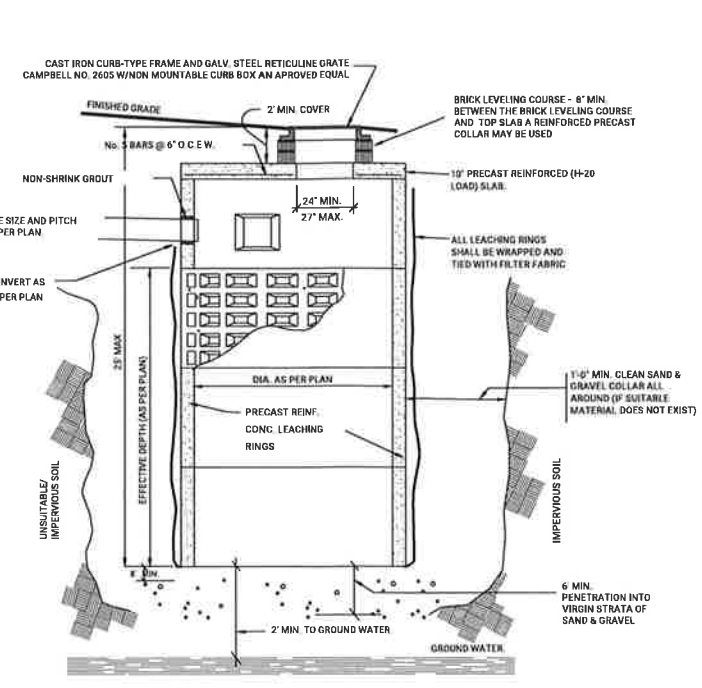


PIPE TRENCH AND BEDDING DETAIL

NOTES:
 1. BEDDING SHALL BE COMPACTED SAND & GRAVEL (S&G) OR 3/4" CRUSHED STONE AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.
 2. SELECT FILL SHALL BE SELECT MATERIAL, FREE OF ROCKS LARGER THAN 2" IN ANY DIMENSION AND SHALL BE PLACED IN 8" MAX. LODGE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.

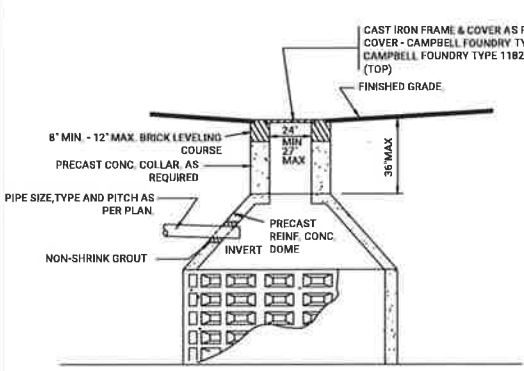


CIPUD SERVICE TRENCH



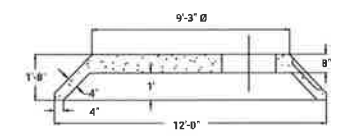
DRAINAGE LEACHING POOL DETAIL (LP)

NOTES:
 1. ALL DRAINAGE PIPE SHALL HAVE 2" MIN. COVER.
 2. AS PART OF THE LEACHING POOL CONSTRUCTION, IF UNSUITABLE MATERIAL, THE CONTRACTOR SHALL BE RESPONSIBLE TO EXCAVATE A MINIMUM OF 6'-0" INTO A VIRGIN STRATA OF SAND AND GRAVEL BELOW THE STRUCTURE. THE EXCAVATION SHALL THEN BE BACKFILLED WITH A CLEAN WELL GRADED SAND AND GRAVEL UP TO AND AROUND THE STRUCTURE AS SHOWN.
 3. ALL PRECAST DRAINAGE STRUCTURES SHALL BE FURNISHED WITH PRECAST OPENINGS FOR DRAINAGE PIPE.
 4. ALL CONCRETE SHALL BE 4000 PSI @ 28 DAYS.
 5. THE TOP 4'-0" SECTION SHALL BE A SOLID REINFORCED PRECAST CONCRETE RING.

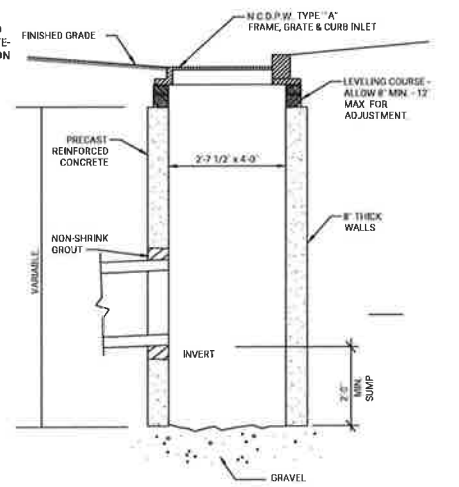


ALTERNATE TOP DOME DETAIL

NOTES: 1. A PRECAST REINFORCED CONCRETE DOME SECTION CAN BE UTILIZED WHERE TWO (2) PIPES ENTER THE POOL 180° APART OR WHEN A SINGLE PIPE ENTERS THE POOL.

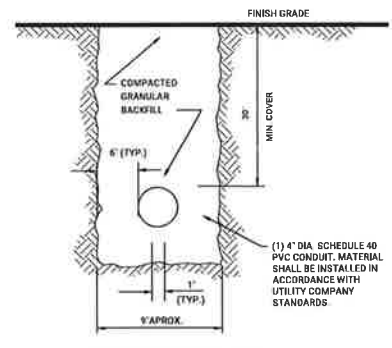


ALTERNATE TOP SHALLOW DOME DETAIL



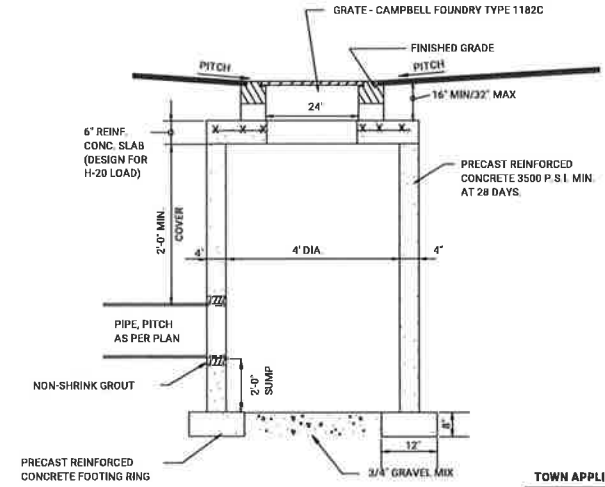
NASSAU COUNTY CATCH BASIN TYPE "A" MODIFIED (CB)

NOTE:
 1. CATCH BASIN SHALL CONFORM TO N.C.D.P.W. STANDARDS.
 2. ALL PRECAST DRAINAGE STRUCTURES SHALL BE FURNISHED WITH PRECAST OPENINGS FOR DRAINAGE PIPE.
 3. ALL DRAINAGE PIPE SHALL HAVE 2" MINIMUM COVER.





UTILITY TRENCH DETAIL

NOTES:
 1. ALL CONDUIT SHALL BE SCHEDULE 40 PVC. ALL CONDUIT SHALL BE INSTALLED WITH (4) 3/8" NYLON DRAG LINES.
 2. CONTRACTOR INSTALLING THE CONDUIT SHALL NOTIFY UTILITY COMPANY ENGINEERING DEPT. 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR INSTALLING THE CONDUIT SHALL NOTIFY UTILITY COMPANY.
 3. ENGINEERING DEPT., 48 HOURS PRIOR TO FILLING IN THE TRENCH, IN ORDER TO ARRANGE INSPECTIONS.
 4. ALL BENDS SHALL BE SCHEDULE 40 PVC, LONG SWEEP BENDS IN ACCORDANCE WITH UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE (4) 2" X 4" TIMBER STAKE LOCATING THE TERMINUS OF THE CONDUIT AT THE PROPERTY LINE.



AREA DRAIN DETAIL (AD)

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OWNER: LEWIS OF NORTH TOWN 700 E. JENNICO TURNPIKE ST. JAMES, NEW YORK 11780		DRAINAGE & UTILITY DETAILS	
APPLICANT: LEWIS OF NORTH TOWN 700 E. JENNICO TURNPIKE ST. JAMES, NEW YORK 11780		1285 NORTHERN BOULEVARD SITUATED IN MANHASSET TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK	
		NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942 	
Christopher W. Robinson, P.E. NY State License No. 067519		Robinson & Muller Engineers, P.C. 50 Elm Street Huntington, NY 11743 Office: (631) 271-0576 Fax: (631) 271-0592 www.rmengineering.com	
DWN. BY:	GM	CHK'D BY:	GT
DATE:	04/29/22	DATE:	05/05/22
SCALE: N.T.S.		SHEET: SP-9	

WATER DISTRIBUTION SYSTEM NOTES

WATER MAIN SHALL BE DUCTILE IRON PIPE (CL 52) OR SHALL MATCH EXISTING. GATE VALVES SHALL BE CAST IRON BODY, BRONZE MOUNTED DOUBLE DISC AWWA TYPE WITH MECHANICAL JOINTS. VALVES SHALL BE RATED FOR 150 PSI WORKING PRESSURE AND SHALL BE FITTED WITH A 2" OPERATING NUT AND CAST IRON ROADWAY BOX TO GRADE. PROVIDE ADAPTORS FOR PVC PIPE. VALVE SHALL CONFORM TO AWWA C 500 LATEST EDITION. WATER MAINS AND SERVICE LINES ARE TO BE LOCATED A MINIMUM OF (10) TEN FEET FROM ANY STRUCTURE, INCLUDING BUILDINGS, PONDS, DRAINAGE AND SANITARY STRUCTURES. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH AWWA STANDARD C-600 "INSTALLATION OF DUCTILE IRON WATER MAINS AND THEIR APPURTENANCES" LATEST EDITION. PIPE SHALL BE LAID STRAIGHT WITH NO DEFLECTIONS AT JOINTS AND NO DEFLECTION OF PIPE.

ON JANUARY 4, 2014 FEDERAL LAW MANDATES THE WETTED SURFACE OF EVERY PIPE, FITTING, AND FITTING SOLD FOR OR INSTALLED IN POTABLE WATER APPLICATIONS NOT CONTAIN MORE THAN 0.25% LEAD BY WEIGHT.

THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES BY FIELD INVESTIGATION. THE ENGINEER SHALL BE NOTIFIED OF ANY CONFLICT BETWEEN EXISTING UTILITIES AND PROPOSED WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE COMMENCEMENT OF WATER MAIN CONSTRUCTION.

- THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING IF REQUIRED:
- A. FURNISHING ALL LABOR, MATERIALS, AND EQUIPMENT FOR DEWATERING.
 - B. OBTAINING DESIGN SERVICES, APPROVALS, AND PERMITS.
 - C. PERFORMING AND MAINTAINING DEWATERING OPERATION.
 - D. REMOVAL AND REACTIVATION OF OPERATIONS AND FACILITIES AT COMPLETION OF PROJECT.
 - E. ALL THE COSTS RELATING TO THE DESIGN, APPROVAL, INSTALLATION, OPERATION, AND REMOVAL FOR DEWATERING OPERATIONS.

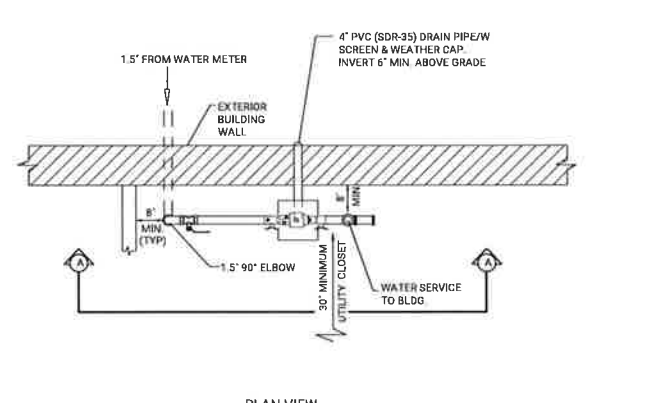
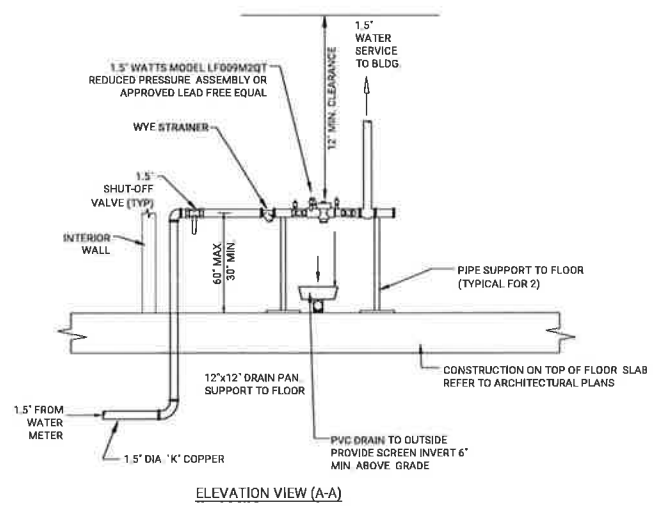
- MATERIAL REQUIREMENTS FOR INSTALLATION OF WATER MAINS
- A. CLASS 52 DUCTILE IRON WATER MAIN PIPE (4" AND LARGER).
 - B. TYPE "K" COPPER ON SERVICE LINES (2" AND UNDER).
 - C. SOLID SLEEVES COUPLINGS (NO WRAPAROUND TYPES).
 - D. FULL BODIED FITTINGS.
 - E. UNDERGROUND CLAMPS.
 - F. TIE RODS & DUC LUGS.
 - G. FOUNDED CONCRETE THRUST BLOCKS AT ALL PIPE BENDS.
 - H. EDDY TYPE FIRE HYDRANTS, J. GATE VALVES (UNDER 12" WATER MAIN SIZE).
 - I. BUTTERFLY VALVES (12" AND OVER WATER MAIN SIZE).

TESTING

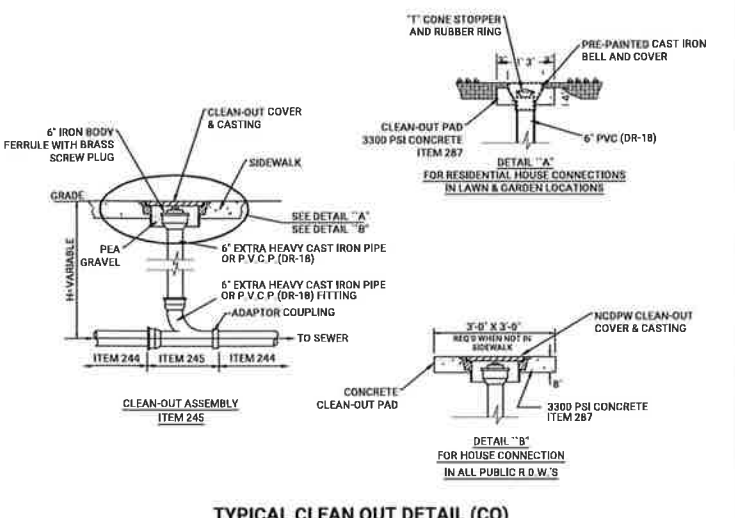
ALL WATER MAINS SHALL BE DISINFECTED AND PRESSURE TESTED IN ACCORDANCE WITH AWWA STANDARD C-600, LATEST EDITION, PRIOR TO USE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE COMMENCEMENT OF WATER MAIN TESTING. WATER MAINS SHALL BE FLUSHED AND FILLED WITH A CHLORINE SOLUTION COMPRISED OF A MINIMUM OF 50 PPM AVAILABLE CHLORINE AND ALLOWED TO STAND FOR 24 HOURS. VALVES SHALL BE OPERATED DURING THIS PERIOD. HEAVILY CHLORINATED WATER SHALL BE FLUSHED FROM THE MAINS PRIOR TO BACTERIOLOGICAL TESTING. BACTERIOLOGICAL TESTING SHALL BE IN ACCORDANCE WITH AWWA C-651-86. SAMPLES SHALL BE TAKEN IN ACCORDANCE WITH SCDS REQUIREMENT OF AT LEAST ONE SAMPLE PER 1,000 LF OR PORTION THEREOF OF WATER MAIN OR AS DIRECTED BY THE HEALTH DEPT. OFFICIAL.

RPZ NOTES

1. IT IS A VIOLATION TO BY-PASS A RECOGNIZED BACKFLOW PREVENTER DEVICE.
2. DEVICE SHALL BE PROTECTED AGAINST FLOODING OR FREEZING AND ADEQUATE LIGHTING PROVIDED.
3. TEST COCKS SHALL NOT FACE WALL AND SHALL BE ACCESSIBLE TO THE TESTER.
4. INSTALLATION OF RPZ/DOV ASSEMBLY SHALL BE AS SHOWN.
5. THERMAL EXPANSION TANK SHALL BE INSTALLED ON COLD WATER SUPPLY LINE LEADING TO HOT WATER HEATER.
6. INSTALLATION TO MEET ALL COUNTY & STATE HEALTH DEPARTMENT REQUIREMENTS.
7. PIPING TO BE UNBRANCHED AND UNRESTRICTED FROM MAIN TO DEVICE EXCEPT FOR METER.
8. ALL VALVES TO OPEN COUNTER CLOCKWISE (RIGHT HANDED VALVES).
9. ALL INSTALLATIONS ARE TO CONFORM TO THE TOWN RULES AND REGULATIONS, PLUMBING CODES AND N.Y. STATE HEALTH DEPARTMENT REQUIREMENTS.
10. LAYOUT SHOWN IS APPROXIMATE. ADJUSTMENTS CAN BE MADE TO FIT FIELD CONDITIONS AND JOB REQUIREMENTS UPON THE WATER DISTRICT'S APPROVAL.
11. ALL RPZ ASSEMBLIES SHALL BE TESTED ANNUALLY BY A NYS HEALTH DEPARTMENT APPROVED CERTIFIED TESTER.
12. MINIMUM CLEARANCES AND ORDER OF PARTS MUST BE MAINTAINED.
13. TEST REPORTS MUST BE SUBMITTED TO BOTH TOWN DEPARTMENT OF WATER AND THE COUNTY DEPARTMENT OF HEALTH.
14. INSTALLER TO NOTIFY TOWN AND/OR WATER DISTRICT UPON COMPLETION OF WORK.
15. THE INSTALLATION SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR.
16. NO LEAD SOLDER SHALL BE USED FOR THE INSTALLATION.
17. THE TOWN AND/OR WATER DISTRICT SHALL HAVE UNRESTRICTED ACCESS TO THE METER AND BACKFLOW PREVENTION UNITS WITHIN THE BUILDING.
18. ALL BACKFLOW PREVENTERS SHALL BE LISTED IN THE CURRENT PUBLIC WATER SUPPLY ENVIRONMENTAL HEALTH MANUAL FOR THE STATE OF NEW YORK.
19. ALL APPURTENANCES TO BE FURNISHED AND INSTALLED MUST MEET THE SPECIFIED STANDARDS AND THE APPROVAL OF THE TOWN AND/OR WATER DISTRICT.
20. BALL VALVES SHALL BE ONE QUARTER TURN BALL VALVES CONFORMING TO AWWA STANDARD C-800, LATEST EDITION (ASTM F-421) AS MANUFACTURED BY FORD, HAYES, MC DONALD OR MUELLEN.
21. DOMESTIC INSTALLATION UP TO 2 INCHES MUST EMPLOY TYPE "K" COPPER PIPE, COPPER PIPING SHALL BE MADE UP WITH WROUGHT OR FORGED COPPER FITTINGS.
22. BACKFLOW PREVENTER SHALL BE ADEQUATELY SUPPORTED TO MAINTAIN THE SPECIFIED CLEARANCES.
23. DRAINS CANNOT BE SUBJECT TO FLOODING AND MUST BE SCREENED.
24. RPZ DEVICES MUST BE SUPPORTED TO THE FLOOR BENEATH THE DEVICE WITH PIPE STANCHIONS.
25. SEPARATE SHUTOFF VALVES MUST BE INSTALLED, FOR ALL DEVICES TO BE LOCATED ON THE INFLUENT LINE.
26. DRAINS MUST DISCHARGE 6" ABOVE GRADE.
27. ALL FERCO RPZ DEVICES MUST BE INSTALLED WITH THE DIAPHRAGM FACING OUTWARDS FOR MAINTENANCE.
28. ON JANUARY 4, 2014 FEDERAL LAW MANDATES THE WETTED SURFACE OF EVERY PIPE, FITTING, AND FITTING SOLD FOR OR INSTALLED IN POTABLE WATER APPLICATIONS NOT CONTAIN MORE THAN 0.25% LEAD BY WEIGHT.

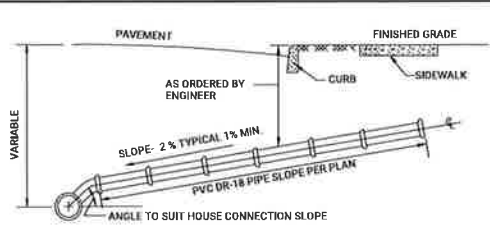


1.5" DOMESTIC SERVICE RPZ DETAIL



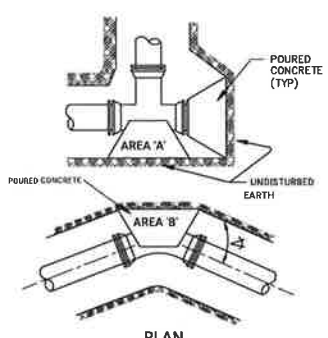
TYPICAL CLEAN OUT DETAIL (CO)

NOTES: 1. CONCRETE SHALL BE CLASS "A" AND CONFORM TO NASSAU COUNTY REQUIREMENTS, (3,500 PSI @ 28 DAYS)



TYPICAL HOUSE CONNECTION

- NOTES: 1. SEWER LINE TO HAVE A MINIMUM OF 10' HORIZONTAL DISTANCE FROM WATER MAIN OR 18" MINIMUM VERTICAL DISTANCE.
2. CLEAN-OUTS SHALL BE INSTALLED AT ALL BENDS IN EXCESS OF 2' AND WITH A MAXIMUM SPACING OF 75' ON CENTER.
3. WHERE GROUND COVER OVER THE TOP OF PIPE IS LESS THAN 2'-0", THE HOUSE CONNECTION SHALL BE DUCTILE IRON PIPE, CEMENT LINED PIPE, CLASS 52.

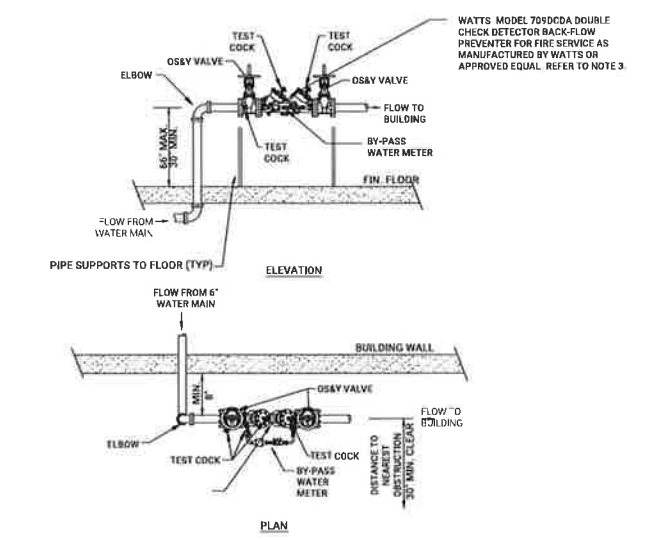


PIPE DIAMETER	90° BENDS HYD. AREA A'	45° & 22 1/2° BENDS HYD. AREA A'
4 & 6"	3 S.F.	2 S.F.
8"	3 S.F.	3 S.F.
10"	4 S.F.	2 S.F.
12"	5 S.F.	3 S.F.
16"	8 S.F.	4 S.F.

NOTE: BASED ON 150 PSI INTERNAL PIPE & 4000 +/- ALLOWABLE SOIL BEARING PRESSURE. SPECIAL THRUST & REACTION BLOCKS WILL BE REQUIRED IN SOFT SAND, CLAY OR RECENTLY PLACED FILL.

BEARON AREA REFERS TO SURFACE AREA ADJACENT UNDISTURBED EARTH.

THRUST BLOCK DETAIL



6" FIRE SERVICE DOUBLE CHECK DETECTOR VALVE DETAIL

- NOTE: 1. FOR THE EXACT LOCATION OF DEVICE LOCATED WITHIN BUILDING CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS.
2. DEVICE SHALL BE FURNISHED AND INSTALLED PER THE MANUFACTURERS' SPECIFICATIONS.
3. REFER TO PLANS FOR FIRE SERVICE SIZES.

TOWN APPLICATION No.: CPB22-000186

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ST. JAMES, NEW YORK 11780

APPLICANT:
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ST. JAMES, NEW YORK 11780



SANITARY & WATER DISTRIBUTION DETAILS

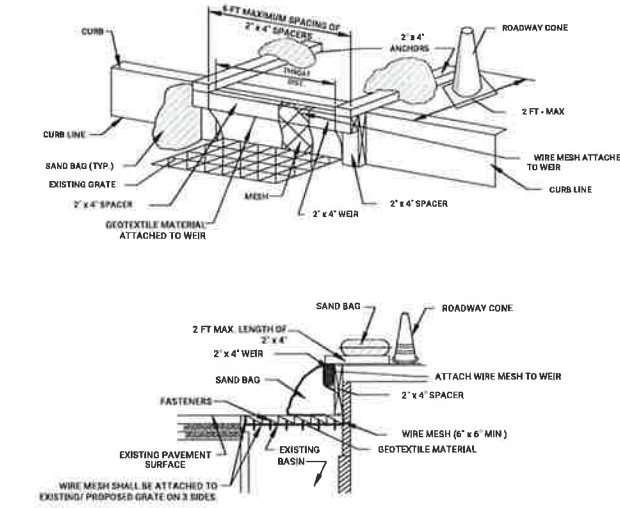
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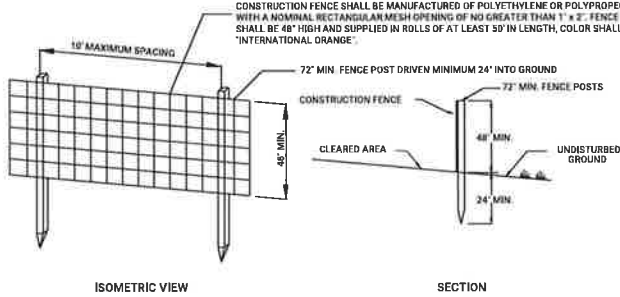
R&M ENGINEERING
Robinson & Muller Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-0576
Fax: (631) 271-0592
www.rmeengineering.com

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DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196	SP-10

Drawing Name: P:\2021 Projects\2021-181\MANHASTAD\Plan\2022-06-17_Silt_Plan_Details (2021-181) (Per Last Modified Oct 26, 2022 - 3:36pm) - 1.50m by rmp/mg
 Date: 2/1/2022 - 1:50pm by rmp/mg
 Date: 2/1/2022 - 3:36pm by rmp/mg



SILT PROTECTION FOR CURB AND GUTTER INLET DRAINAGE STRUCTURES



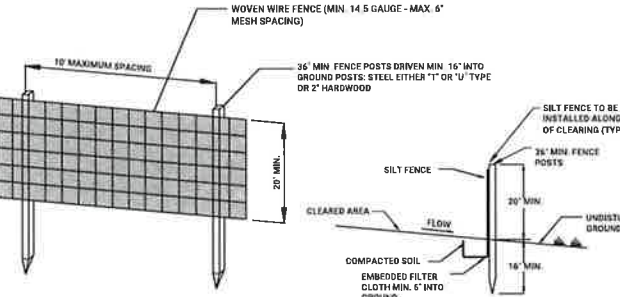
CONSTRUCTION NOTES FOR PLASTIC FLORESCENT ORANGE FENCE

NOTES:

- THE CONTRACTOR SHALL INSTALL THE CONSTRUCTION FENCE IN LOCATIONS AS REQUIRED BY THE DRAWINGS AND SPECIFICATIONS OR MUNICIPAL AUTHORITIES.
- THE PRIMARY PURPOSE OF THE CONSTRUCTION FENCE IS TO CLEARLY DELINEATE A CONSTRUCTION AREA AND PROVIDE SOME MEASURE OF PROTECTION FOR THE SURROUNDING NATURAL AREAS. IT IS NOT DESIGNED OR INTENDED TO BE AN IMPENETRABLE BARRIER TO THOSE INTENT ON ENTERING THE CONSTRUCTION SITE.

INSTALLATION

CONSTRUCTION FENCE SHALL BE INSTALLED BY WEAVING FENCE POSTS VERTICALLY THROUGH AT LEAST THREE (3) MESH OPENINGS (TOP, MIDDLE AND BOTTOM OF FENCE) AND DRIVING POSTS WITH A 3/8" DRILLING HAMMER (OR EQUIVALENT) FLUSH WITH TOP OF FENCING. POSTS SHALL BE AT AN INTERVAL OF NO GREATER THAN TEN FEET. FENCING SHALL BE SECURED FIRMLY TO EACH POST AT THE TOP, BOTTOM AND MIDPOINT WITH WIRE TIES. WHERE LENGTHS OF FENCING ARE JOINED, A POST SHALL BE WOVEN THROUGH BOTH FENCE SECTIONS AT THE JOINT, WITH TIES FASTENING BOTH FENCE SECTIONS TO THE POST. FENCING SHALL BE STRETCHED AS TIGHT AS PRACTICAL BETWEEN FENCE POSTS WITHOUT INDIAGONALLY DEFLECTING POSTS. TEMPORARY OPENINGS IN CONSTRUCTION FENCE INSTALLATIONS SHALL BE PERMITTED FOR ENTRY OF WORKERS, MATERIALS AND EQUIPMENT. SUCH OPENINGS SHALL BE SECURED AT THE END OF EACH WORK DAY IN THE MANNER FOREMENTIONED FOR JOINING FENCE SECTIONS.

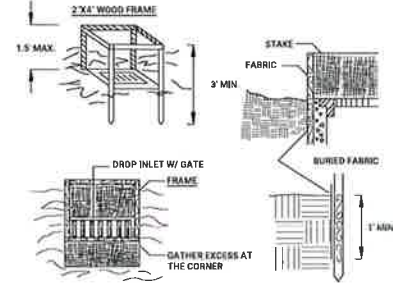


INSTALLATION

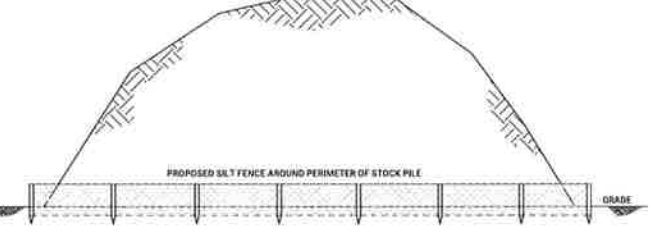
CONSTRUCTION FENCE SHALL BE INSTALLED BY WEAVING FENCE POSTS VERTICALLY THROUGH AT LEAST THREE (3) MESH OPENINGS (TOP, MIDDLE AND BOTTOM OF FENCE) AND DRIVING POSTS WITH A 3/8" DRILLING HAMMER (OR EQUIVALENT) FLUSH WITH TOP OF FENCING. POSTS SHALL BE AT AN INTERVAL OF NO GREATER THAN TEN FEET. FENCING SHALL BE SECURED FIRMLY TO EACH POST AT THE TOP, BOTTOM AND MIDPOINT WITH WIRE TIES. WHERE LENGTHS OF FENCING ARE JOINED, A POST SHALL BE WOVEN THROUGH BOTH FENCE SECTIONS AT THE JOINT, WITH TIES FASTENING BOTH FENCE SECTIONS TO THE POST. FENCING SHALL BE STRETCHED AS TIGHT AS PRACTICAL BETWEEN FENCE POSTS WITHOUT INDIAGONALLY DEFLECTING POSTS. TEMPORARY OPENINGS IN CONSTRUCTION FENCE INSTALLATIONS SHALL BE PERMITTED FOR ENTRY OF WORKERS, MATERIALS AND EQUIPMENT. SUCH OPENINGS SHALL BE SECURED AT THE END OF EACH WORK DAY IN THE MANNER FOREMENTIONED FOR JOINING FENCE SECTIONS.

NOTES:

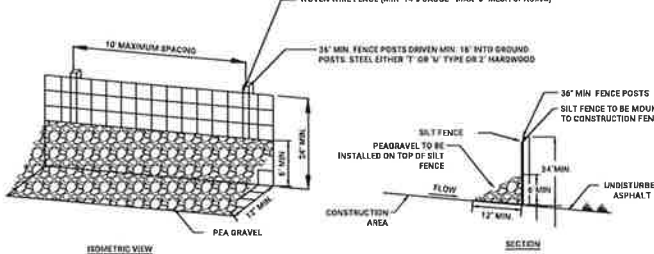
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.



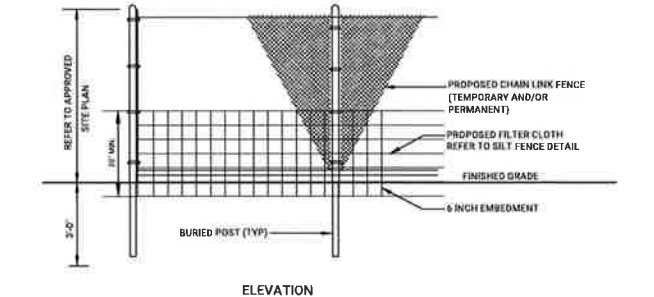
FILTER FABRIC DROP INLET DETAIL



TYPICAL STOCK PILE PROTECTION DETAIL



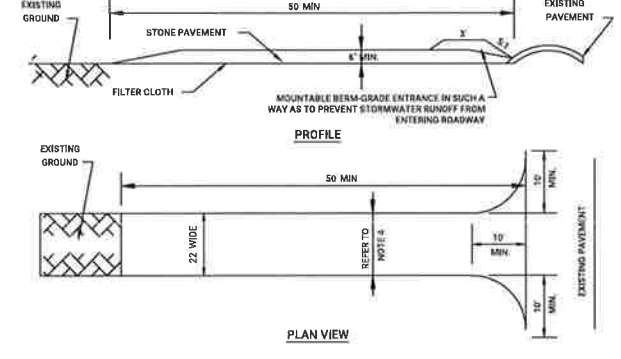
SILT FENCE DETAIL



SILT FENCE ATTACHED TO CHAIN LINK FENCE DETAIL

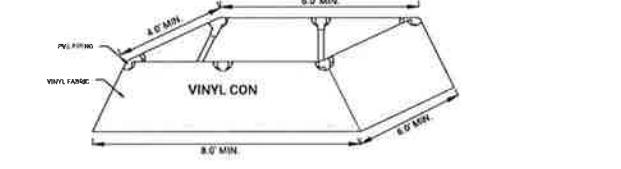
NOTES:

- FILTER CLOTH TO BE FASTENED SECURELY TO CHAIN LINK FENCE WITH WIRE OR PLASTIC LOCKING TIES, SPACED EVERY 24" AT TOP AND BOTTOM SECTION.
- WHEN TWO (2) SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX (6) INCHES AND FOLDED.
- FILTER CLOTH SHALL BE IMBEDDED MIN 6 INCHES INTO GROUND (REFER TO SILT FENCE DETAIL FOR EMBEDMENT PROCEDURE)
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.



STABILIZED CONSTRUCTION ENTRANCE DETAIL

- NOTES:
- STONE SIZE - USE 2" STONE OR CRUSHED CONCRETE, NO FINES.
 - LENGTH - NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR OVERYED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRANSPORT OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT TRANSPORTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A WASH STATION IF EXCESSIVE MUD FROM VEHICLE TIRES IS TRACKED ONTO R.O.W.



CONCRETE WASH-OUT

NOTES:

- CONTRACTOR SHALL PROVIDE A CONCRETE WASH-OUT BY RTC SUPPLY 1-530-589-2007 (WEBSITE www.rtcsupply.com) CONTRACTOR OR APPROVED EQUAL.
- LINERS FOR THE WASHOUT ARE AVAILABLE FROM RTC SUPPLY FOR MULTIPLE USES

DUST CONTROL NOTES

DEFINITION
THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES.

PURPOSE
TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS AND TRAFFIC SAFETY PROBLEMS.

CONDITIONS WHERE PRACTICE APPLIES
ON CONSTRUCTION ROADS, ACCESS POINTS AND OTHER DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND DUST BLOWING WHERE OFF-SITE DAMAGE MAY OCCUR IF DUST IS NOT CONTROLLED.

DESIGN CRITERIA
CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME. BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL. TEMPORARY MEASURES SHOULD BE INSTALLED. NO SPECIFIC DESIGN CRITERIA IS GIVEN; REFER TO CONSTRUCTION SPECIFICATIONS BELOW FOR COMMON METHODS OF DUST CONTROL.

CONSTRUCTION SPECIFICATIONS
VEGETATIVE COVER - FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL. TEMPORARY SEEDING SHALL BE AS FOLLOWS:
 A. RYE GRASS (ANNUAL OR PERENNIAL AT 30 POUNDS PER ACRE (0.7 LBS / 1,000 SF))
 B. CERTIFIED "ARBORESCENT" WINTER RYE (CERIAL RYE) AT 100 POUNDS PER ACRE (2.5 LBS / SF) USE WINTER RYE IF SEEDING IN OCTOBER OR NOVEMBER.
 C. MULCH, INCLUDING GRAVEL MULCH, OFFERS A FAST EFFECTIVE MEANS OF CONTROLLING DUST. SPRAY ADHESIVES - EXAMPLES OF SPRAY ADHESIVES FOR USE ON MINERAL SOILS ARE SHOWN IN THE FOLLOWING TABLE.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLICATION GALLONS PER ACRE
ACRYLIC POLYMER	9:1	COURSE SPRAY	500
LATEX EMULSION	12:5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

WATER QUALITY SHOULD BE CONSIDERED WHEN MATERIALS ARE SELECTED FOR DUST CONTROL.
 SPRINKLING - THE SITE MAY BE SPRAYED UNTIL THE SURFACE IS WET. THIS IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND ACCESS ROUTES.
 THE USE OF STONE FOR CONSTRUCTION ROADS IS ALSO EFFECTIVE FOR DUST CONTROL.
 BARRIERS - A FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENTS AT INTERVALS EQUAL TO FIFTEEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.
 MAINTENANCE
 MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.

EROSION CONTROL AND LANDSCAPING NOTES

EROSION CONTROL
CONSTRUCT ALL SWALES AND BERMS AS SHOWN OR AS REQUIRED TO DIRECT AND CONTROL STORMWATER RUNOFF AND PREVENT EXCESS EROSION. 3% (3:1) SLOPES STEEPER THAN (2:1) SHALL BE STABILIZED BY HYDROSEEDING WITH MULCH BINDER TYPE 'AH', TYPE 'A' OR BY USING JUTE MESH AS LISTED IN THE EROSION MANUAL OR AS SPECIFIED BY THE ENGINEER.

TOPSOIL
ALL DISTURBED SOIL AREAS, EXCLUDING PAVED AREAS, MUST BE COVERED WITH A MINIMUM OF 4" (INCHES) OF NATIVE TOPSOIL PRIOR TO THE REMOVAL OF EXCESS TOPSOIL.

LIME AND FERTILIZER
ALL AREAS SPECIFIED TO BE SEEDED SHALL RECEIVE LIME. FERTILIZER AS SPECIFIED BY EROSION CONTROL MANUAL OR AS ORDERED BY ENGINEER.

MULCHING
ALL AREAS RECEIVING SEED AND ELSEWHERE AS NOTED, SHALL BE MULCHED AND ANCHORED.

TYPE OF SEED, HYDROSEEDING OR ALTERNATE STABILIZATION
AS SPECIFIED ON LANDSCAPE PLAN

TREE AND SHRUB PLANTING

- ALL TREES AND SHRUBS SHALL BE PLANTED IN CIRCULAR PITS 1 FOOT CLEAR ON ALL SIDES AND BOTTOM OF ROOT BALL AND BACKFILL WITH A MIXTURE OF 7 PARTS TOPSOIL, 1 PART ROTTED MANURE.
- ALL PLANT MATERIAL SHALL HAVE VIGOROUS ROOT GROWTH AND BE FREE FROM ROOT INJURY AND DISEASE IN ANY FORM.
- STREET TREES SHALL NOT BE PLANTED WITHIN 10' OF A FIRE HYDRANT, DRIVEWAY APPROX OR STORMWATER DRAINAGE BASIN OR WITHIN 25' OF ANY STREET LIGHT, STREET SIGN OR POINT OF CURVATURE OR TANGENCY OF ANY CORNER.

TOWN APPLICATION No.: CPB22-000185

No.	REVISION DESCRIPTION	DATE	BY
4	NO REVISIONS THIS SHEET	10/26/22	GT
3	NO CHANGES THIS SHEET	09/08/22	GM
2	NO CHANGES THIS SHEET	08/03/22	GM
1	GENERAL REVISIONS	07/11/22	GM

OWNER:
LEWIS OF SOUTHVIEW
700 E. LERCHIO TURNPIKE
ST. JAMES, NEW YORK 11780

APPLICANT:
LEWIS OF SOUTHVIEW
700 E. LERCHIO TURNPIKE
ST. JAMES, NEW YORK 11780



Christopher W. Robinson, P.E.
NY State License No: 667519

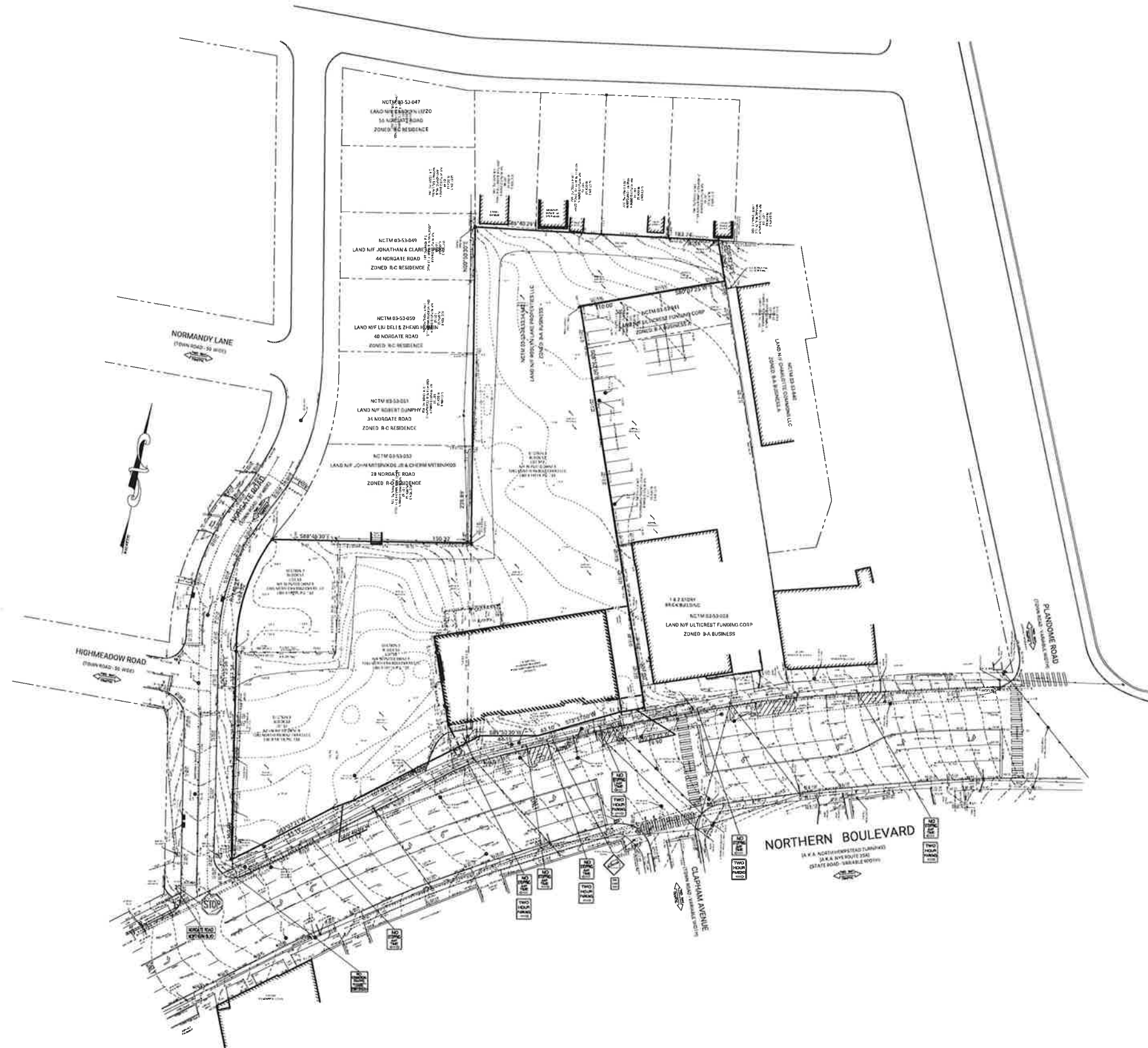
DEMO & EROSION CONTROL DETAILS

1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

NCTM: SECTION 3, BLOCK 53, LOTS 36, 53, 54 & 942



DWN BY:	GM	CHKD BY:	GT	SCALE:	NTS	SHEET:
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196	SP-11



TOWN APPLICATION No.: CPB22-005186

No.	REVISION DESCRIPTION	DATE	BY
4	GENERAL REVISIONS	10/25/22	GT
3	REV PER CIVIC ORD CDM	10/20/22	GM
2	REV PER TOAH CDM	08/03/22	GM
1	GENERAL REVISIONS	07/21/22	GM

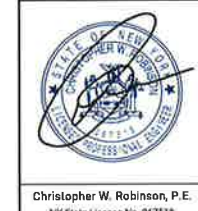
OWNER:
LELUS OF SOUTHWIND
700 E. JERICHO TURNPIKE
ST. JAMES, NEW YORK 11780

APPLICANT:
LELUS OF SOUTHWIND
700 E. JERICHO TURNPIKE
ST. JAMES, NEW YORK 11780

EXISTING CONDITIONS

1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942



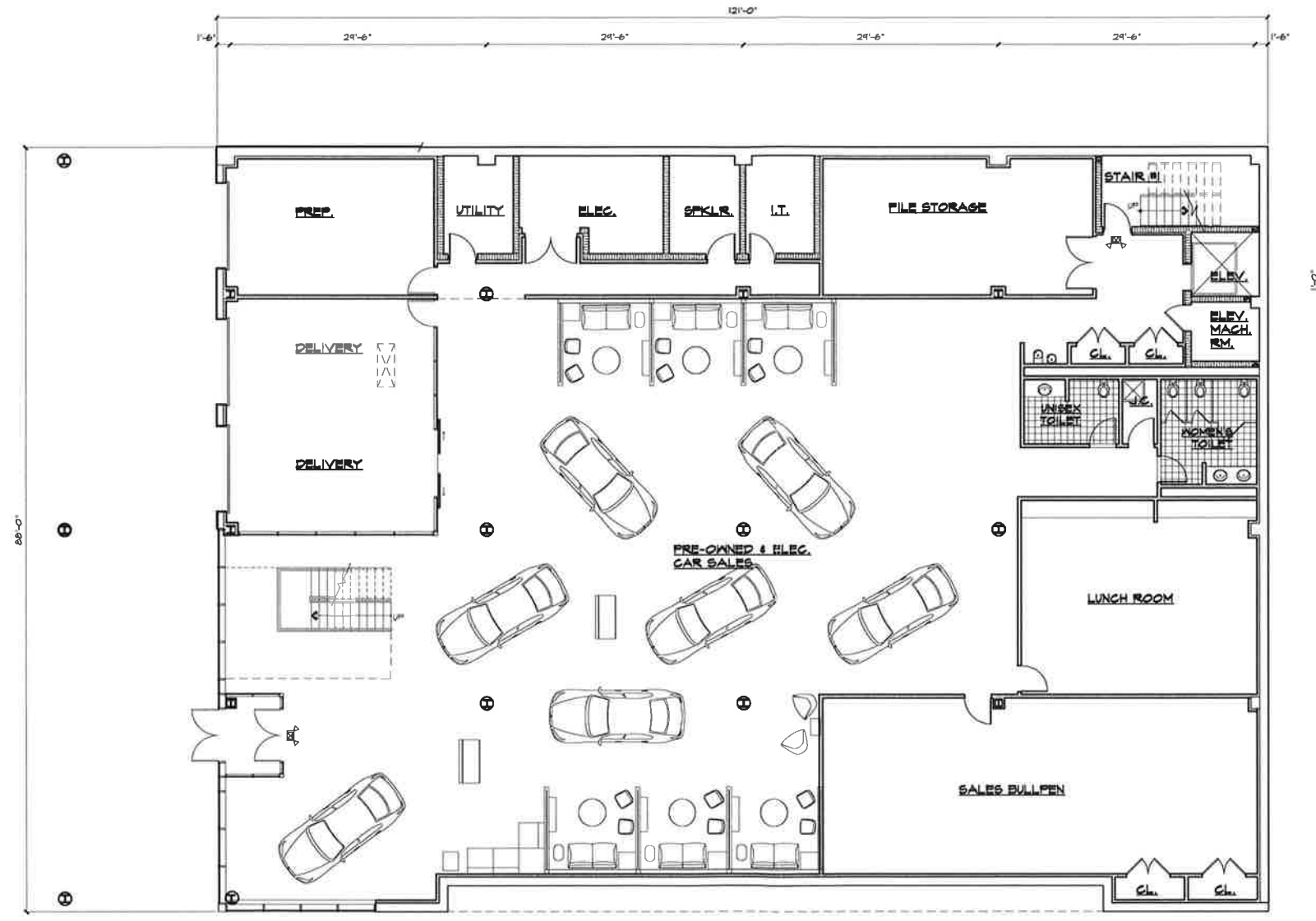
R&M ENGINEERING

Robinson & Muller
Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-0576
Fax: (631) 271-0592
www.rmengineering.com

DWN. BY:	GM	CHKD. BY:	GT	SCALE:	1"=40'	SHEET:	EX-1
DATE:	04/29/22	DATE:	05/05/22	JOB No.:	2021-196		



FILE DATE	TO	
1-6-23	ZONING BOARD APPL.	
NO.	DATE	REVISIONS




1 LOWER LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & BE RESPONSIBLE FOR FIELD FIT OF ALL WORK.

DRAWN BY: **GB**
 CHK'D BY: **GB**
 DATE: **1-6-23**
 SCALE: **AS NOTED**
 PROJECT: **21106**

PROJECT: **BMW Auto Dealership**
1285 Northern Blvd. Manhasset, New York

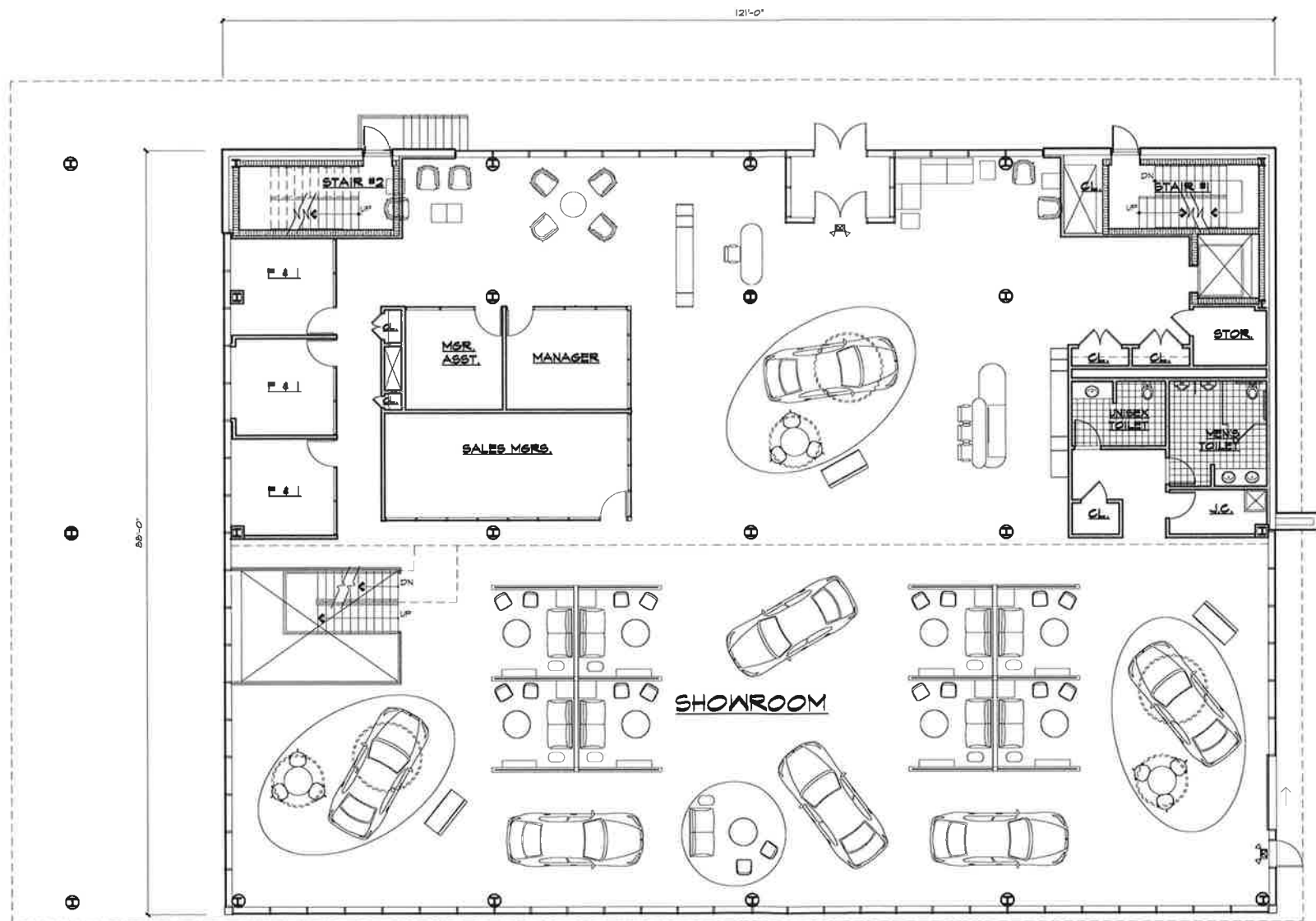
DRAWING: **LOWER LEVEL FLOOR PLAN**

SEAL:  DRAWING: **A-101**

DWG. OF

FILE DATE	TO
1-6-23	ZONING BOARD APPL.

NO.	DATE	REVISIONS




1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & BE RESPONSIBLE FOR FIELD FIT OF ALL WORK.

DRAWN BY: **GB**
 CHK'D BY: **GB**
 DATE: **1-6-23**
 SCALE: **AS NOTED**
 PROJECT: **21106**

PROJECT:
BMW
Auto Dealership
 1285 Northern Blvd.
 Manhasset, New York

DRAWING:
1ST FLOOR PLAN

SEAL:  DRAWING:
A-102
 DWG. OF

FILE DATE	TO
1-6-23	ZONING BOARD APPL.

NO.	DATE	REVISIONS




MEZZANINE PLAN
 SCALE: 1/8" = 1'-0"

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & BE RESPONSIBLE FOR FIELD FIT OF ALL WORK.

DRAWN BY: GB
 CHK'D BY: GB
 DATE: 1-6-23
 SCALE: AS NOTED
 PROJECT: 21106

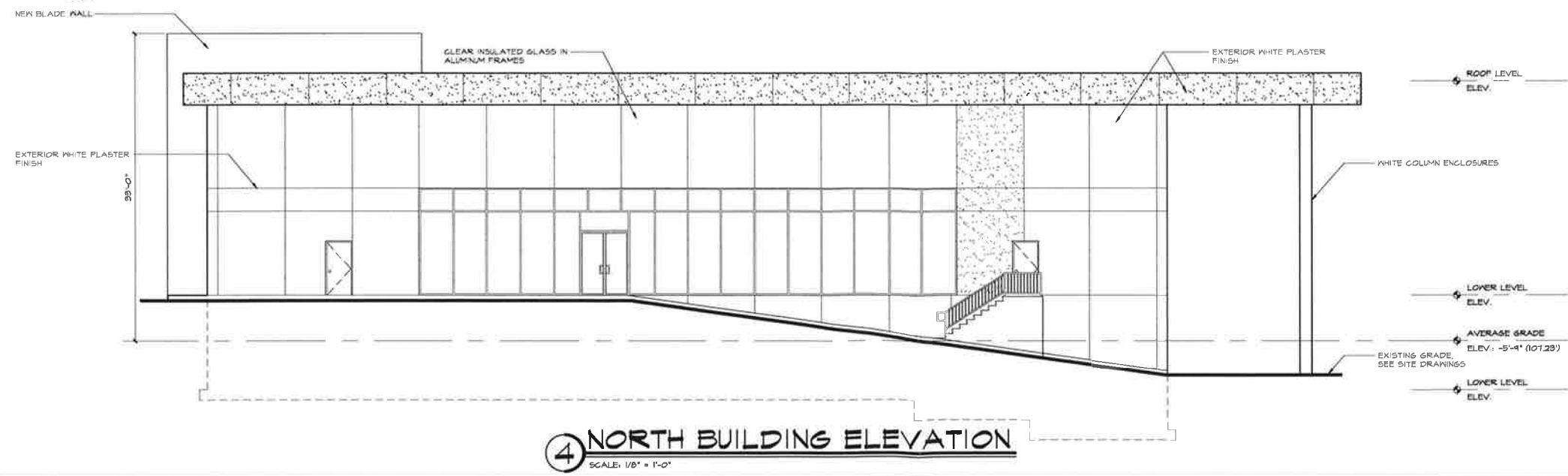
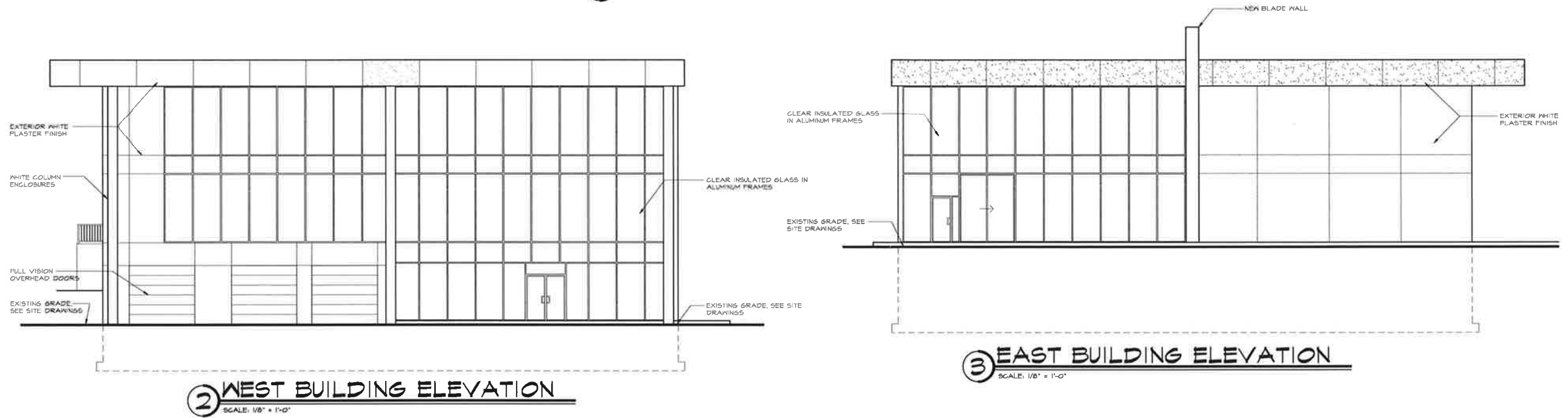
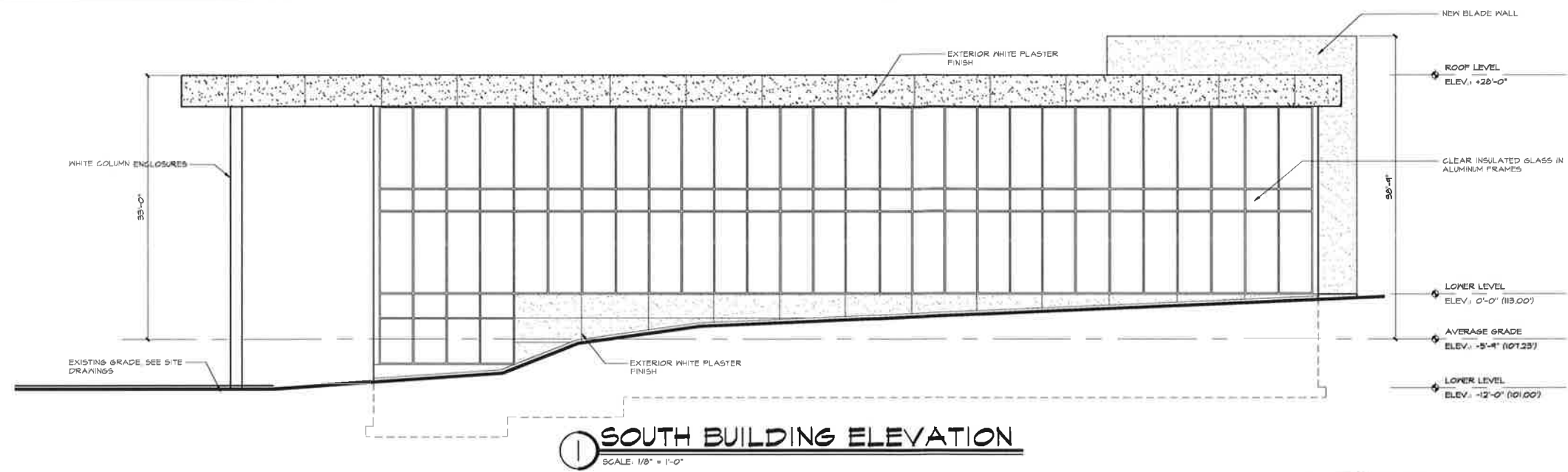
PROJECT:
BMW
Auto Dealership
 1285 Northern Blvd.
 Manhasset, New York

DRAWING:
MEZZANINE PLAN

SEAL:  DRAWING:
A-103
 DWG. OF

FILE DATE	TO
1-6-23	ZONING BOARD APPL.

NO.	DATE	REVISIONS



THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & BE RESPONSIBLE FOR FIELD FIT OF ALL WORK.

PROJECT: 21106

DATE: 1-6-23

SCALE: AS NOTED

BMW Auto Dealership
1285 Northern Blvd.
Manhasset, New York

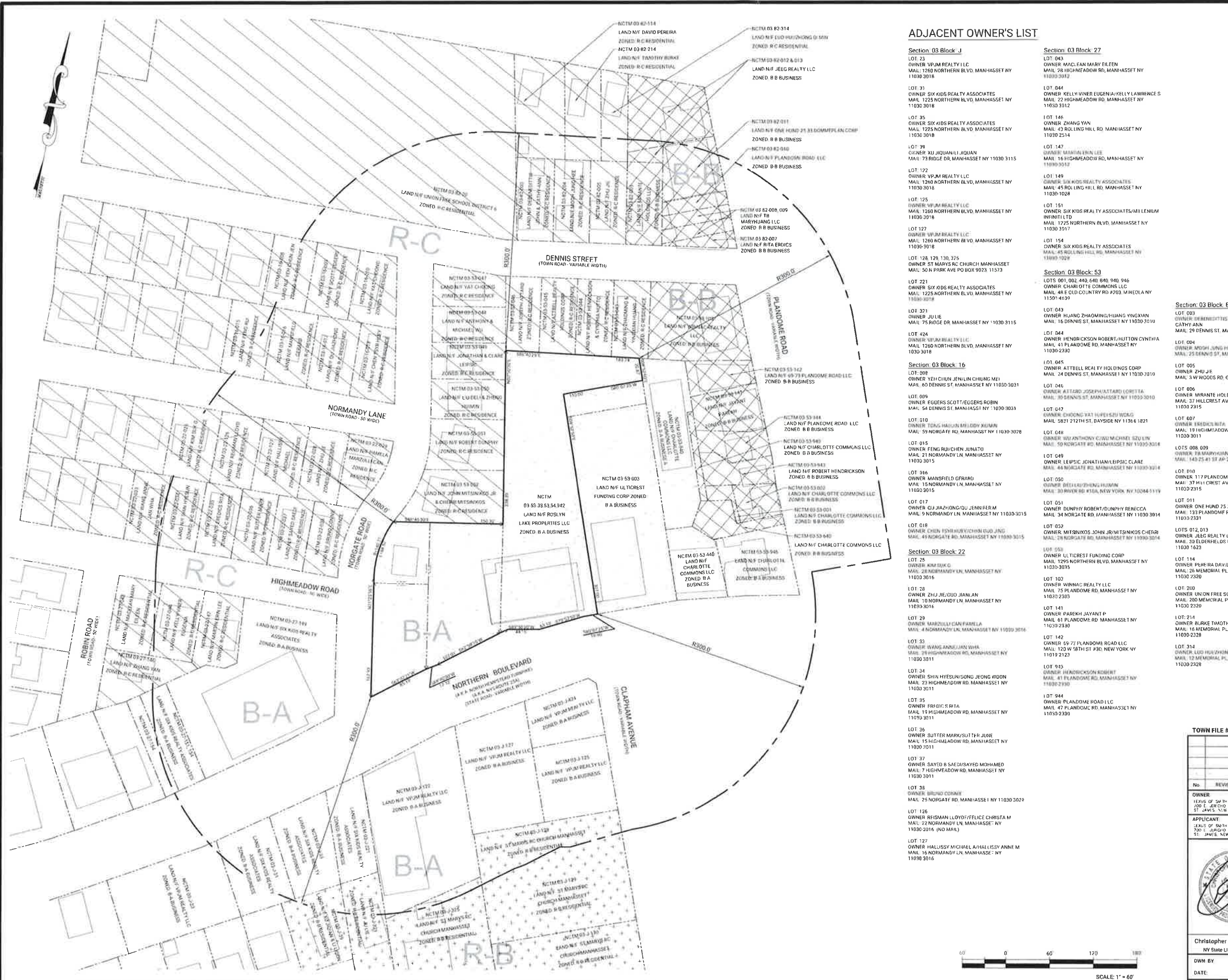
DRAWING: BUILDING ELEVATIONS

SEAL: REGISTERED ARCHITECT GREGORY BASMAJIAN No. 17313 STATE OF NEW YORK

DRAWING: A-201

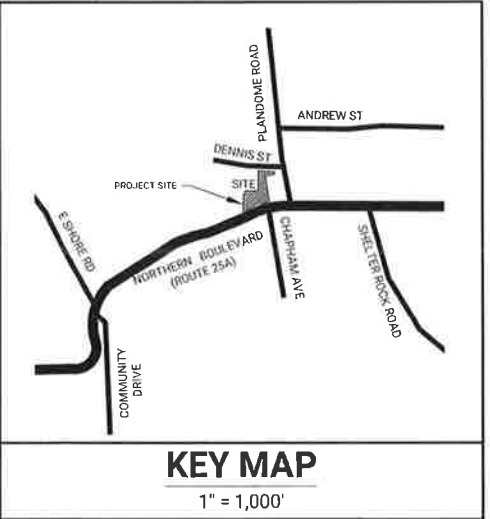
DWC. OF

Drawn: 2/2/22; Project: 2021-1818; Date: 02/22/22; 4:43pm; Plot: 04; May 24, 2022 - 4:43pm; by: KStrom



ADJACENT OWNER'S LIST

- Section 03 Block J**
 LOT 23
 OWNER: VPJM REALTY LLC
 MAIL: 1260 NORTHERN BLVD, MANHASSET NY 11030 3018
- LOT 31
 OWNER: SIX KIDS REALTY ASSOCIATES
 MAIL: 1225 NORTHERN BLVD, MANHASSET NY 11030 3018
- LOT 35
 OWNER: SIX KIDS REALTY ASSOCIATES
 MAIL: 1225 NORTHERN BLVD, MANHASSET NY 11030 3018
- LOT 39
 OWNER: XU JIUJUAN LI, JIUJUAN
 MAIL: 73 RIDGE DR, MANHASSET NY 11030 3115
- LOT 122
 OWNER: VPJM REALTY LLC
 MAIL: 1260 NORTHERN BLVD, MANHASSET NY 11030 3018
- LOT 125
 OWNER: VPJM REALTY LLC
 MAIL: 1260 NORTHERN BLVD, MANHASSET NY 11030 3018
- LOT 127
 OWNER: VPJM REALTY LLC
 MAIL: 1260 NORTHERN BLVD, MANHASSET NY 11030 3018
- LOT 128, 129, 130, 325
 OWNER: ST MARYS RC CHURCH MANHASSET
 MAIL: 50 N PARK AVE PO BOX 9023 11573
- LOT 221
 OWNER: SIX KIDS REALTY ASSOCIATES
 MAIL: 1225 NORTHERN BLVD, MANHASSET NY 11030 3018
- LOT 321
 OWNER: LU JIE
 MAIL: 75 RIDGE DR MANHASSET NY 11030 3115
- LOT 424
 OWNER: VPJM REALTY LLC
 MAIL: 1260 NORTHERN BLVD, MANHASSET NY 1030 3018
- Section 03 Block 16**
 LOT 508
 OWNER: CHEN JIANJUN CHUNG MEI
 MAIL: 60 DENNIS ST, MANHASSET NY 11030-3031
- LOT 695
 OWNER: EGGERS SCOTT/EGGERS ROBIN
 MAIL: 54 DENNIS ST, MANHASSET NY 1030-3031
- LOT 710
 OWNER: TONG HUIJUN MI, GUY XUMIN
 MAIL: 59 NORGATE RD, MANHASSET NY 11030-3078
- LOT 915
 OWNER: FENG RUI/CHEN JUNATO
 MAIL: 21 NORMANDY LN, MANHASSET NY 11030 3015
- LOT 916
 OWNER: MANSFIELD GFRARD
 MAIL: 15 NORMANDY LN, MANHASSET NY 11030 3015
- LOT 917
 OWNER: GU JIANZHONG/GU JENNIFER M
 MAIL: 9 NORMANDY LN, MANHASSET NY 11030-3015
- LOT 918
 OWNER: CHEN FENG HUI/CHEN GUO JIANG
 MAIL: 49 NORGATE RD, MANHASSET NY 11030 3015
- Section 03 Block 22**
 LOT 25
 OWNER: ARM SUK G
 MAIL: 28 NORMANDY LN, MANHASSET NY 11030 3016
- LOT 29
 OWNER: MARIJULLI CAN FAMELA
 MAIL: 4 NORMANDY LN, MANHASSET NY 11030 3016
- LOT 33
 OWNER: WANG ANSELJAN WHE
 MAIL: 38 HIGHMEADOW RD, MANHASSET NY 11030 3011
- LOT 34
 OWNER: SHIN HYULIN/SONG JEONG WDOO
 MAIL: 23 HIGHMEADOW RD, MANHASSET NY 11030 3011
- LOT 35
 OWNER: ERDIC, RITA
 MAIL: 19 HIGHMEADOW RD, MANHASSET NY 11030 3011
- LOT 36
 OWNER: SUTTER MARK/SUTTER JUNE
 MAIL: 15 HIGHMEADOW RD, MANHASSET NY 11030 3011
- LOT 37
 OWNER: SAYED B SAEDI/SAYED MOHAMED
 MAIL: 7 HIGHMEADOW RD, MANHASSET NY 11030 3011
- LOT 126
 OWNER: BRUNO CORREA
 MAIL: 25 NORGATE RD, MANHASSET NY 11030 3029
- LOT 127
 OWNER: HALLUSSY MICHAEL A/HALLUSSY ANNE M
 MAIL: 16 NORMANDY LN, MANHASSET NY 11030 3016
- Section 03 Block 27**
 LOT 043
 OWNER: MACLEAN MARY EILEEN
 MAIL: 28 HIGHMEADOW RD, MANHASSET NY 11030 3012
- LOT 044
 OWNER: KELLY VINER EUGENIA/KELLY LAWRENCE S
 MAIL: 22 HIGHMEADOW RD, MANHASSET NY 11030 3012
- LOT 146
 OWNER: ZHANG YAN
 MAIL: 43 ROLLING HILL RD, MANHASSET NY 11030 2514
- LOT 147
 OWNER: SHANTAL ERIN LEE
 MAIL: 16 HIGHMEADOW RD, MANHASSET NY 11030 3012
- LOT 149
 OWNER: SIX KIDS REALTY ASSOCIATES
 MAIL: 45 ROLLING HILL RD, MANHASSET NY 11030-1028
- LOT 151
 OWNER: SIX KIDS REALTY ASSOCIATES/MI LENIUM INFINITI LTD
 MAIL: 1225 NORTHERN BLVD, MANHASSET NY 11030 3011
- LOT 154
 OWNER: SIX KIDS REALTY ASSOCIATES
 MAIL: 45 ROLLING HILL RD, MANHASSET NY 11030 1028
- Section 03 Block 53**
 LOTS 901, 902, 440, 640, 840, 940 946
 OWNER: CHARIOTTE COMMONS LLC
 MAIL: 45 OLD COUNTRY RD #703, MANHASSET NY 11030 4039
- LOT 043
 OWNER: HUANG ZHAOMING/HUANG YINGXIAN
 MAIL: 16 DENNIS ST, MANHASSET NY 11030 3010
- LOT 044
 OWNER: HENDRICKSON ROBERT/HUTTON CYNTHIA
 MAIL: 41 PLANDOME RD, MANHASSET NY 11030 2330
- LOT 045
 OWNER: ATTBELL REALTY HOLDINGS CORP
 MAIL: 24 DENNIS ST, MANHASSET NY 11030-3010
- LOT 046
 OWNER: ATTARD, JOSEPH/ATTARD LORETTA
 MAIL: 30 DENNIS ST, MANHASSET NY 11030-3010
- LOT 047
 OWNER: CHONG WAT HUI/SHU WONG
 MAIL: 5821 212TH ST, DAPSE NY 11364 1821
- LOT 048
 OWNER: ANTHONY C/282 MICHAEL SZU LIN
 MAIL: 50 NORGATE RD, MANHASSET NY 11030-3018
- LOT 049
 OWNER: LEPSIC JONATHAN/LEPSIC CLARE
 MAIL: 44 NORGATE RD, MANHASSET NY 11030-3018
- LOT 050
 OWNER: DEELI/LEUNG HUIJUN
 MAIL: 30 RIVER RD #30A, NEW YORK NY 10044 5119
- LOT 051
 OWNER: DUNPHY ROBERT/DUNPHY BERCCA
 MAIL: 34 NORGATE RD, MANHASSET NY 11030 3014
- LOT 052
 OWNER: MITSUNOKU JOHN J/MIYASAKI CHEERI
 MAIL: 23 NORGATE RD, MANHASSET NY 11030-3014
- LOT 053
 OWNER: ULTRICEST FUNDING CORP
 MAIL: 1295 NORTHERN BLVD, MANHASSET NY 11030-3035
- LOT 102
 OWNER: WINNA: REALTY LLC
 MAIL: 75 PLANDOME RD, MANHASSET NY 11030 2305
- LOT 141
 OWNER: PAREKH JAYANT P
 MAIL: 61 PLANDOME RD, MANHASSET NY 11030 2380
- LOT 142
 OWNER: 69 75 PLANDOME ROAD LLC
 MAIL: 120 W 58TH ST #30, NEW YORK NY 11019 2123
- LOT 933
 OWNER: HENDRICKSON ROBERT
 MAIL: 41 PLANDOME RD, MANHASSET NY 11030 2330
- LOT 944
 OWNER: PLANDOME ROAD LLC
 MAIL: 47 PLANDOME RD, MANHASSET NY 11030 2330



TOWN OF NORTH HEMPSTEAD ZONING LEGEND:

	B-A BUSINESS A
	B-B BUSINESS B
	R-B RESIDENCE B
	R-C RESIDENCE C

I DO HEREBY CERTIFY THAT THE AREA MAP ACCURATELY DESCRIBES THE USES OF THE PROPERTY SURROUNDING THE SUBJECT PREMISES AS OF 9/12/19 AND THAT THE NAMES AND ADDRESSES SHOWN ON SAID AREA MAP WERE OBTAINED FROM THE CLERK OF THE COUNTY OFFICE OF RECORDS AND DEEDS AT 202-430-0400 ON 09/12/22.

Christopher W. Robinson, P.E. Date: 9/25/2022

THESE ARE THE BOUNDARIES OF ANY VILLAGE, TOWN, COUNTY, CITY, STATE OR FEDERAL JURISDICTION WITHIN 500 FEET OF THE SUBJECT PROPERTY OTHER THAN NORTHERN BOULEVARD.

TOWN FILE #

No.	REVISION DESCRIPTION	DATE	BY

OWNER:
1285 OF 541-108N, 700 E. JER CHO TURNPIKE ST. JAMES TOWN 11280

APPLICANT:
JESUS OF NAZARETH 700 E. JER CHO TURNPIKE ST. JAMES TOWN 11280

Christopher W. Robinson, P.E.
NY State License No. 057519

300 FOOT RADIUS MAP

1285 NORTHERN BOULEVARD
SITUATED IN
MANHASSET
TOWN OF NORTH HEMPSTEAD, NASSAU COUNTY, NEW YORK

NCTM: SECTION 3, BLOCK 53, LOTS 38, 53, 54 & 942

R&M ENGINEERING

Robinson & Muller Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-6576
Fax: (631) 271-6592
www.rmandm.com

OWN BY	GM	CHKT BY	GT	SCALE	1" = 60'	SHEET:	RM-2
DATE:	04/29/22	DATE:	05/05/22	JOB No:	2021-196		

